



# M E M O R A N D U M

ADMINISTRATION DEPARTMENT  
TOWN OF CUMBERLAND, MAINE

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Date: May 12, 2022

To: Cumberland Planning Board

From: Carla Nixon, Town Planner

Subject: **Sketch Plan Review: Proposed Major Subdivision - Tuttle Road**

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This item is a sketch plan review for a proposed 7 lot subdivision of single -family homes on a vacant lot located across from the Fire Station on Tuttle Road.

Please review my memo to Natalie Burns, Town Attorney, and her response, regarding the question of whether the 75' (and 100' from Tuttle Road) buffer can be waived/reduced.

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**From:** Carla Nixon <[cnixon@cumberlandmaine.com](mailto:cnixon@cumberlandmaine.com)>  
**Sent:** Monday, May 2, 2022 1:12 PM  
**To:** Natalie L. Burns <[nburns@jensenbaird.com](mailto:nburns@jensenbaird.com)>  
**Cc:** Christina Silberman <[csilberman@cumberlandmaine.com](mailto:csilberman@cumberlandmaine.com)>; William Longley <[wlongley@cumberlandmaine.com](mailto:wlongley@cumberlandmaine.com)>; William Shane <[wshane@cumberlandmaine.com](mailto:wshane@cumberlandmaine.com)>; Dan Diffin <[dpd@smemaine.com](mailto:dpd@smemaine.com)>  
**Subject:** Re: Proposed Wyatt Subdivision Question

Thanks, Natalie. Very helpful.

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**From:** Natalie L. Burns <[nburns@jensenbaird.com](mailto:nburns@jensenbaird.com)>  
**Sent:** Friday, April 29, 2022 9:34:07 AM  
**To:** Carla Nixon <[cnixon@cumberlandmaine.com](mailto:cnixon@cumberlandmaine.com)>  
**Cc:** Christina Silberman <[csilberman@cumberlandmaine.com](mailto:csilberman@cumberlandmaine.com)>; William Longley <[wlongley@cumberlandmaine.com](mailto:wlongley@cumberlandmaine.com)>; William Shane <[wshane@cumberlandmaine.com](mailto:wshane@cumberlandmaine.com)>; Dan Diffin <[dpd@smemaine.com](mailto:dpd@smemaine.com)>  
**Subject:** RE: Proposed Wyatt Subdivision Question

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Carla,

Section 250-44 states that the Planning Board may waive a standard if it finds either that an unnecessary hardship will result from strict compliance with the subdivision standards or if there are special circumstances of a particular plan that makes the standard inapplicable. The waiver can't have the effect of nullifying the intent and purpose of the Comprehensive Plan, the Subdivision Ordinance or the Zoning Ordinance. It also can't endanger public safety. The Ordinance defines "unnecessary hardship" as "a substantial burden on the applicant which affects the applicant's ability to achieve a reasonable economic return" on the project.

This would appear to fall within either of the criteria for a waiver. Because these buffer requirements only exist in the Subdivision Ordinance and not in the Zoning Ordinance, the Board has the authority to waive them. Any waiver will need to be noted on the subdivision plan and recorded within 2 years of the final subdivision approval.

Thanks,

Natalie

**Natalie L. Burns, Esq.**  
Attorney

---

**JENSEN BAIRD**  
Ten Free Street  
P.O. Box 4510

Portland, ME 04112  
T: (207) 775-7271

**From:** Carla Nixon <[cnixon@cumberlandmaine.com](mailto:cnixon@cumberlandmaine.com)>  
**Sent:** Thursday, April 28, 2022 2:23 PM  
**To:** Natalie L. Burns <[nburns@jensenbaird.com](mailto:nburns@jensenbaird.com)>  
**Cc:** Christina Silberman <[csilberman@cumberlandmaine.com](mailto:csilberman@cumberlandmaine.com)>; William Longley <[wlongley@cumberlandmaine.com](mailto:wlongley@cumberlandmaine.com)>; William Shane <[wshane@cumberlandmaine.com](mailto:wshane@cumberlandmaine.com)>; Dan Diffin <[dpd@smemaine.com](mailto:dpd@smemaine.com)>  
**Subject:** Proposed Wyatt Subdivision Question

Hi Natalie,

There is a vacant parcel located across from the Fire Station on Tuttle Road. A developer is proposing a 7 lot, single family subdivision to be served by public water and sewer. It is in an identified "Growth Area" in our Comprehensive Plan. When Bill Longley and I first looked at it, it appeared feasible as it is in the Town Center District (TCD) which allows for small lots with small setbacks. However, when the Subdivision Ordinance is considered, the development is not feasible due to the significant perimeter buffers (75') required of all major subdivisions (and in this case, because the development is off Tuttle Road, the buffer is increased to 150' (Section 250-10 (Clustered) and 250-12 (Traditional) along Tuttle Road).

So, the question for you is whether the Planning Board has the authority to reduce the buffer requirements of the subdivision ordinance given the location of the development.

I have this on the May 17<sup>th</sup> Planning Board agenda for Sketch Plan Review. If your answer is positive, then the applicant will prepare a Traditional and Clustered subdivision plan for the Board to consider.

I believe that these large buffers were in place when the town was envisioning subdivisions in rural areas. This parcel is quite different and would likely be able to be developed more intensely if the recently-adopted law regarding affordable housing/increased density is in place next July.

I also want to add that the Town has approved three other major subdivisions (two condo projects and one apartment building) in the TCD, but they were done with a contract zoning.

Let me know if you need any other information.

Thank you for your help.

Carla



**Carla Nixon**  
Director of Planning, Town of Cumberland  
207-829-2206  
[www.cumberlandmaine.com](http://www.cumberlandmaine.com)  
290 Tuttle Road, Cumberland, Maine 04021



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189 Main Street, Suite 200  
Yarmouth, ME 04096

April 28, 2022

Town of Cumberland  
290 Tuttle Road  
Cumberland, ME 04021

Re: Wyatt Drive – Proposed Subdivision  
Sketch Plan Application Updates

Dear Planning:

Trillium Engineering Group (TEG) is providing the following updates for the Wyatt Drive Sketch Plan submission. TEG previously submitted this application on April 21, 2022 but has updated the plans based on conversations with Town Planner Carla Nixon.

Per the ordinance, the proposed subdivision will require a 75' vegetated buffer around the side and rear property lines, as well as a 150' vegetated buffer from Tuttle Road. TEG is requesting this requirement be waived, as said buffer will leave the site with only 20,736 square feet of buildable area, which is not feasible for a subdivision. See Sheet C101-C for additional information.

Assuming the vegetated buffer requirement can be waived, TEG has prepared two separate subdivision plans. Sheet C101-A depicts a seven-lot traditional subdivision with setbacks and lot density calculations meeting and exceeding the Town Center District standards. Sheet C101-B, meanwhile, depicts a five-lot clustered subdivision with 29,764 square feet of open space. It is our professional opinion that the traditional subdivision plan shown on Sheet C101-A is a better fit for this site, as it provides more lots and the open space requirement will not be necessary in the Town Center District.

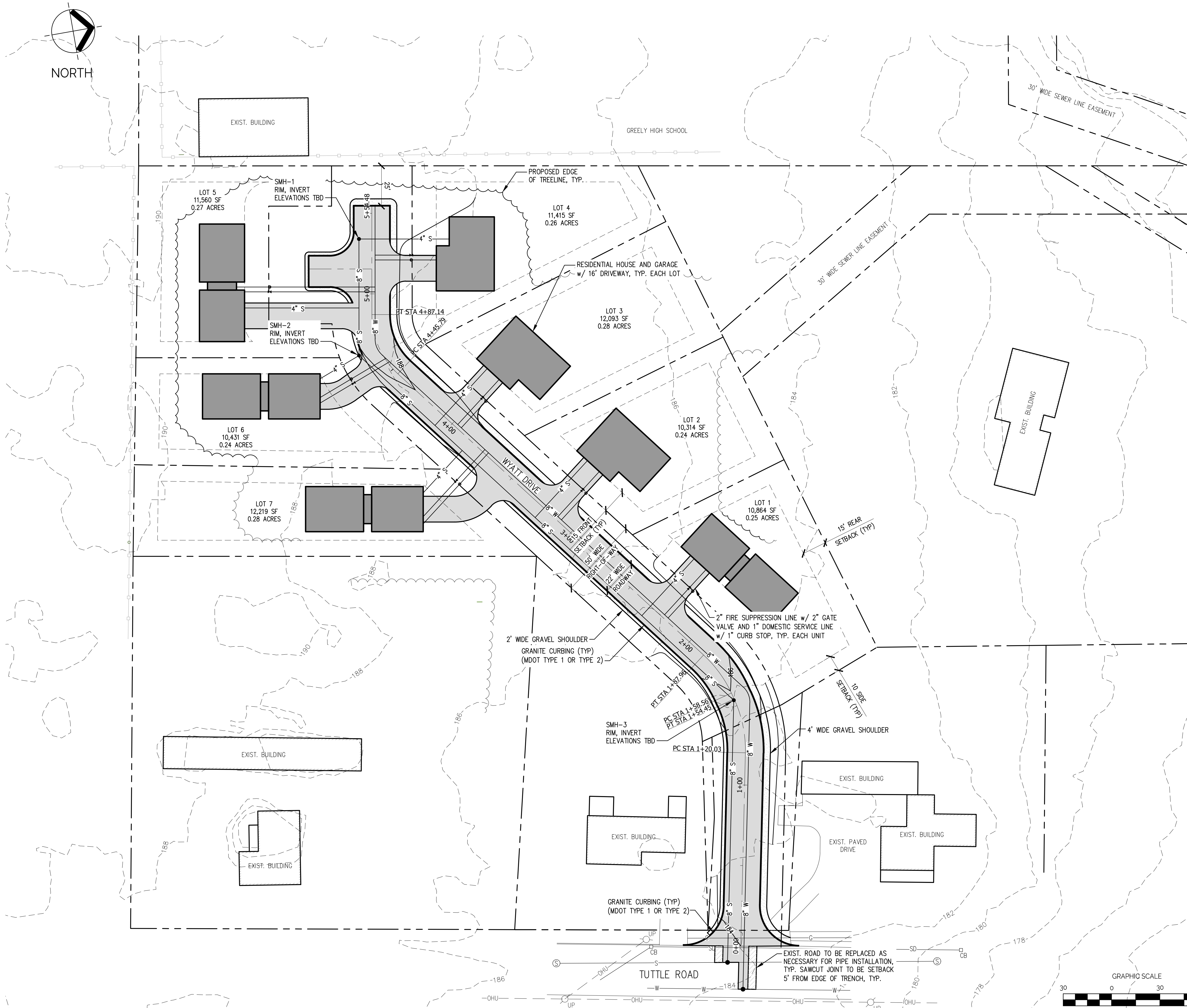
Net residential density calculations for the traditional and clustered subdivisions have been provided on their respective sheets. Per Mark Cenci, this site does not feature any wetlands or protected resources which would affect the net residential density calculations.

Thank you for taking the time to review this. Should you have any further questions or require any additional information, please do not hesitate to ask.

Sincerely,

A handwritten signature in black ink, appearing to read 'David Latham', with a stylized flourish at the end.

David Latham, P.E.  
Trillium Engineering Group



ZONE: TOWN CENTER DISTRICT	REQUIRED	PROPOSED
MIN. FRONTAGE	80'	80.00'
MIN. LOT SIZE	10,000 SF	10,314 SF
FRONT SETBACK	15'	15'
SIDE SETBACK	10'	10'
REAR SETBACK	15'	28.94'

IMPERVIOUS AREA TABLE		
TYPE OF COVER	EXISTING IMP. AREA (SF)	PROPOSED IMP. AREA (SF)
BUILDING	0	20,941
PAVEMENT	297	12,512
TOTAL	297	33,453
CHANGE FROM EXISTING (+/-)		33,156
PERCENT CHANGE (+/-)		29.83%

NET LOT AREA TABLE	
TYPE OF LAND	PROPOSED CONDITION (SF)
GROSS SITE AREA (GSA)	111,151
RIGHT-OF-WAYS (ROW)	31,202
WETLANDS (W)	0
NET LOT AREA (GSA-ROW-W)	79,949
NUMBER OF LOTS	7
NET RESIDENTIAL DENSITY	11,421



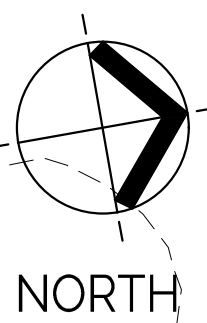
CLIENT:  
**ANDERSON  
LANDSCAPING**  
352 MEMORIAL HIGHWAY  
NORTH YARMOUTH, ME 04097

PRELIMINARY  
NOT FOR CONSTRUCTION

TUTTLE ROAD SUBDIVISION  
WYATT DRIVE  
CUMBERLAND, ME  
PROPOSED SUBDIVISION

ISSUED				
No.	DESCRIPTION	DR BY	CHKD BY	DATE
A	ISSUED FOR REVIEW	XX	XX	XX-XX-XX





ZONE: TOWN CENTER DISTRICT		
	<u>REQUIRED</u>	<u>PROPOSED</u>
MIN. FRONTAGE	80'	80.00'
MIN. LOT SIZE	10,000 SF	10,314 SF
FRONT SETBACK	15'	15'
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PAVEMENT	297	12,512
TOTAL	297	33,453
CHANGE FROM EXISTING (+/-)		33,156
PERCENT CHANGE (+/-)		29.83%

NET LOT AREA TABLE	
TYPE OF LAND	PROPOSED CONDITION (SF)
GROSS SITE AREA (GSA)	111,151
RIGHT-OF-WAYS (ROW)	24,535
WETLANDS (W)	0
NET LOT AREA (GSA-ROW-W)	86,616
NUMBER OF LOTS	5
NET RESIDENTIAL DENSITY	17,323
DESIGNATED OPEN SPACE	29,764 (26.78%)



CLIENT:  
ANDERSON  
LANDSCAPING  
352 MEMORIAL HIGHWAY  
NORTH YARMOUTH, ME 04097

PRELIMINARY  
NOT FOR CONSTRUCTION

TUTTLE ROAD SUBDIVISION

---

WYATT DRIVE

CUMBERLAND, ME

PROPOSED SUBDIVISION

[illegible]

SHEET TITLE:

# PROPOSED SITE PLAN - CLUSTERED SUBDIVISION

DESIGNED:	DL
DRAWN:	DL
DATE:	04-21-22
PROJECT NUMBER:	22-103

C101-B





**TRILLIUM**  
ENGINEERING GROUP  
189 MAIN STREET SUITE 200  
YARMOUTH, ME 04096

PRELIMINARY  
NOT FOR CONSTRUCTION

ISSUED				
No.	DESCRIPTION	DR BY	OKD BY	DATE
A	ISSUED FOR REVIEW	XX	XX	XX-XX-XX

SHEET TITLE:

DESIGNED:	DL
DRAWN:	DL
DATE:	04-21-22
PROJECT NUMBER:	22-103

C101-C





189 Main Street, Suite 200  
Yarmouth, ME 04096

April 19, 2022

Town of Cumberland  
290 Tuttle Road  
Cumberland, ME 04021

Re: Wyatt Drive – Proposed Subdivision  
Sketch Plan Application

Dear Planning:

Trillium Engineering Group is providing this project narrative for the proposed subdivision to be developed off Tuttle Road (Tax Map U11, Lot 4A). This development proposes a new access road connecting to a proposed seven-lot subdivision located on a currently undeveloped parcel.

The existing site is currently undeveloped with a mix of forested vegetation and lawn area. The proposed state shall install a new access road and remove a portion of the existing tree line as shown on Sheet C101. The road shall be 22 feet wide with granite curb on either side of the road. Additionally, a 4 foot wide gravel sidewalk shall be installed for minor pedestrian traffic.

Access to each lot shall be provided by 16 foot wide driveways. The exact dimensions of the proposed housing units are to be determined, but the Owner currently plans for said units to have garages along with the living area. Approximate building footprints have been shown on each of the respective lots.

The site is to be served by public water and sewer as shown on Sheet C101 and on Sheet C200's "Proposed Driveway Section". Sizes and locations of the proposed lines are still preliminary and are subject to change.

Because this project is still in the sketch plan phase, Trillium Engineering Group has not performed a full stormwater analysis on the existing and proposed conditions.

Thank you for taking the time to review this. Should you have any further questions or require any additional information, please do not hesitate to ask.

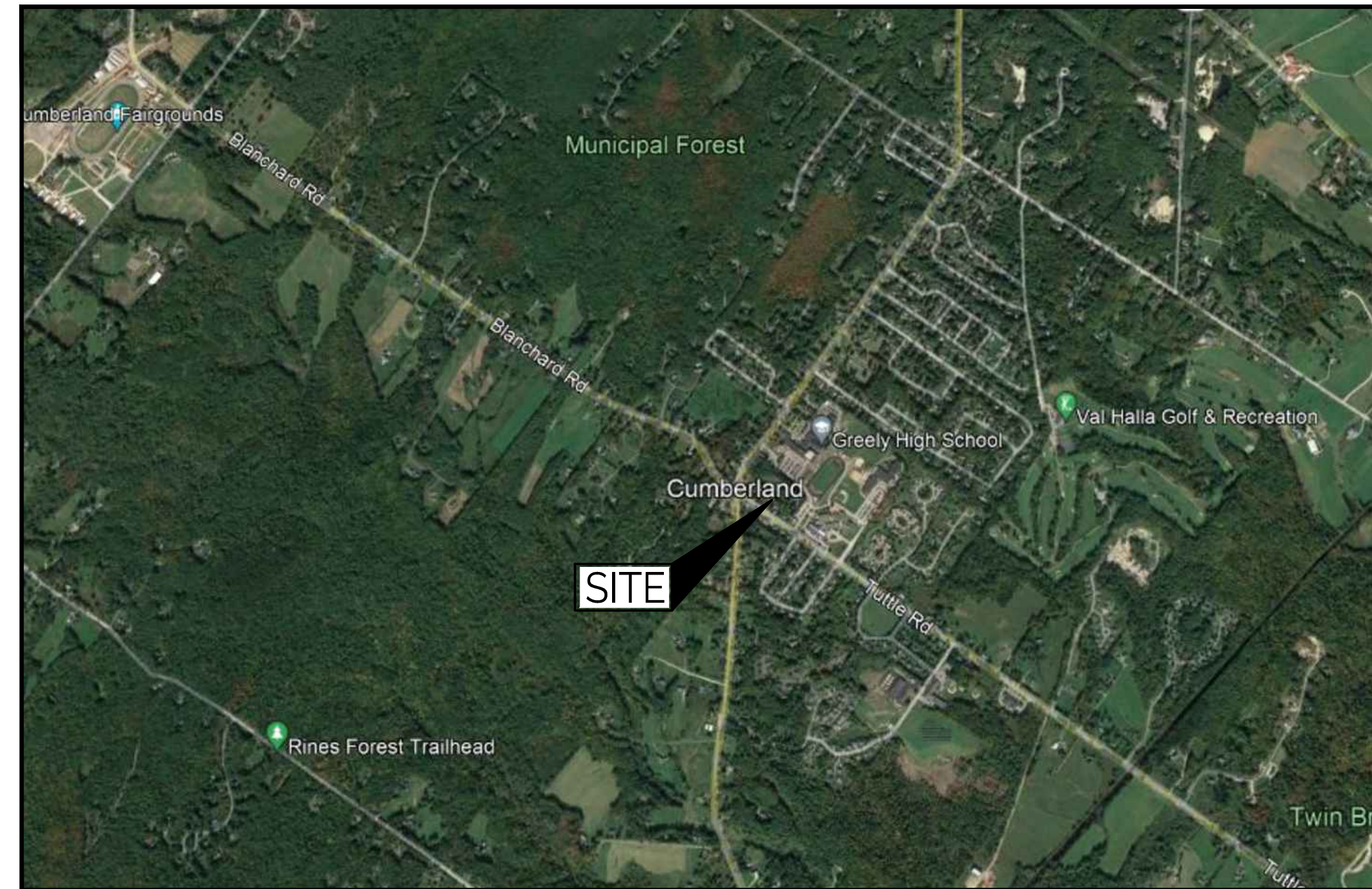
Sincerely,

A handwritten signature in black ink, appearing to read 'David Latham', with a stylized flourish at the end.

David Latham, P.E.  
Trillium Engineering Group



WYATT DRIVE, CUMBERLAND, ME  
APRIL 21, 2022



LOCUS MAP  
NOT TO SCALE

## DRAWING LIST

C100	EXISTING SITE PLAN
C101	PROPOSED GRADING & DRAINAGE PLAN
C200	SITE DETAILS
C300	EROSION CONTROL DETAILS

OWNER:

ANDERSON LANDSCAPING  
352 MEMORIAL HIGHWAY  
NORTH YARMOUTH, ME 04097

## CONSULTANTS:

TRILLIUM ENGINEERING GROUP  
189 MAIN STREET  
YARMOUTH, ME 04096



CLIENT:  
ANDERSON  
LANDSCAPING  
352 MEMORIAL HIGHWAY  
NORTH YARMOUTH, ME 04097

PRELIMINARY  
NOT FOR CONSTRUCTION

TUTTLE ROAD SUBDIVISION  
 WYATT DRIVE  
 CUMBERLAND, ME

PROPOSED SUBDIVISION

[illegible]

SHEET TITLE:

COVER SHEET

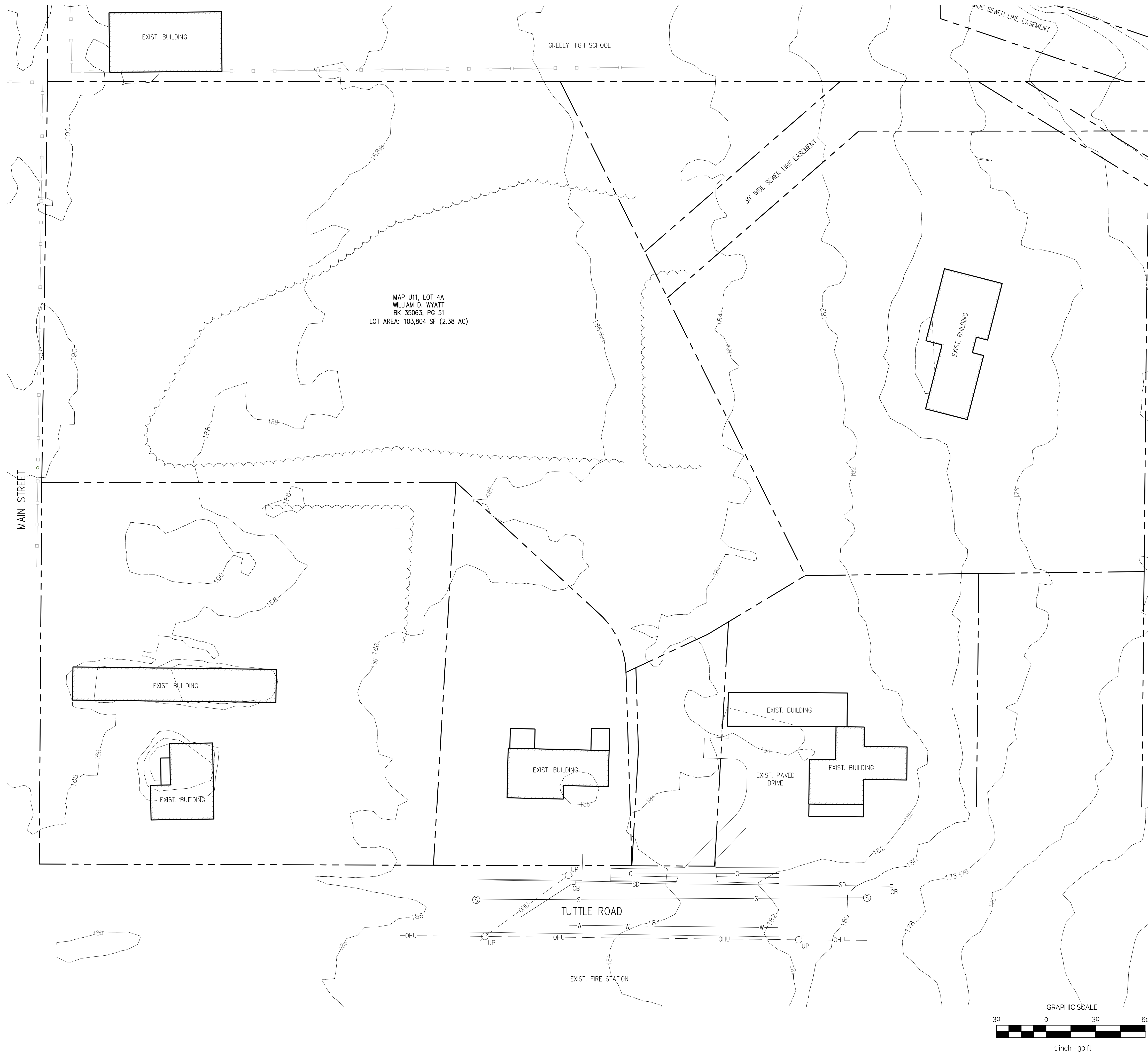
DESIGNED:	DL
DRAWN:	DL
DATE:	04-21-22
PROJECT NUMBER:	22-103

Co





## EXISTING SITE PLAN



## GENERAL NOTES

- 1) BOUNDARY AND TOPOGRAPHY INFO. TAKEN FROM "EXISTING CONDITIONS SURVEY FOR WILLIAM D. WYATT OF PROPERTY ADJOINING 363 TUTTLE ROAD, CUMBERLAND, MAINE" PREPARED BY BOUNDARY POINTS PROFESSIONAL LAND SURVEYING, LLC DATED SEPTEMBER 21, 2018
- 2) THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED MATERIALS, EQUIPMENT, IMPLEMENTS, AND LABOR, AND THE NECESSARY MEANS, TOOLS, AND APPURTENANCE, TO THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
- 3) THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DETAIL OF THE PROJECT SHALL BE DEEMED TO REFER TO THE MOST RECENT LATEST SPECIFICATION OR DESIGNATION.
- 4) ALL CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY SHALL COMPLY WITH TOWN PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE D.O.T. STANDARDS. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST SPECIFICATIONS.
- 5) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- 6) PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (1-800-225-4977) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- 7) THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, MUNICIPAL RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR PRIOR TO THEIR PRESENCE ON THE CONTRACTOR'S SOLE RESPONSIBILITY. WHEN DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THE CONTRACTOR IS NOT SURE OF THE LOCATION OF UTILITIES, THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- 8) OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR "PROPER CLEARANCE" OF THE LINE BEFORE ANY WORKING ON THE LINE.
- 9) IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DETAILS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
- 10) THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING AREA. BUILDING AND DRIVEWAYS SHOWN ARE CONCEPTUAL. ALL SITE DIMENSIONS ARE REFERENCED TO PROPERTY LINES, THE FACE OF CURBS, OUTSIDE FACE OF WALLS, OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
- 11) ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE WRITING BY THE OWNED'S DESIGN ENGINEER, APPROVED BY GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
- 12) THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY CITY/CODE ENFORCEMENT OFFICIALS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 13) ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
- 14) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
- 15) THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- 17) A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND ALL CONTRACTORS SHALL BE HELD PRIOR TO THE BEGINNING OF THE PROJECT. DURING CONSTRUCTION THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
- 18) PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON ALL PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE CONTRACTOR.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	GRANITE MONUMENT - 3" OFFSET	
	IRON PIN FOUND/SET	
	IRON ROD FOUND	
	CAPPED IRON ROD FOUND	
	DRILL HOLE FOUND	
	GRANITE MONUMENT FOUND	
----	STREET LINE	----
- - - -	LOT SETBACKS	- - - -
- . - . - .	PROPERTY LINE	- . - . - .
----	ABUTTOR LINE	----
	"NO CUT" BUFFER	
	WETLANDS	
----	EDGE OF ROAD/TRAVELLED WAY	----
	SOIL TEST PIT	
----	CONTOUR	----
327'±0 x 327.6	SPOT GRADE	327'±0 x 327.6
	GAS SHUT-OFF	
	UTILITY POLE	
----	OVERHEAD ELECTRICAL	----
----	UNDERGROUND ELECTRICAL	----
	ELECTRICAL TRANSFORMER	
	FIRE HYDRANT	----
8'-W 8'-W	WATER LINE	8'-W 8'-W
	WATER GATE	
12'-S	SEWER LINE	12'-S
	SEWER MANHOLE	
	DRAINAGE MANHOLE	
	CATCH BASIN	
UD/SD	UNDERDRAIN/STORMDRAIN	UD/SD
UD	UNDERDRAIN	UD
----	SILT FENCE	SF
----	TEMP. STONE CHECK DAM	
----	GRAVING AND FLOW DIRECTION	
----	HAY BALES	
----	EROSION CONTROL BLANKET	
----	STORMWATER BOUNDARY	----
	STORMWATER FLOW (1c)	
	FACE OF LEDGE OUTCROP	
	BIRCH	
	MAPLE	
~~~~~	TREE LINE	~~~~~
----	SITE LIGHTING (BAYSIDE FIXTURE)	
○○○○○	STONE WALL	

SCALE: 1" = 30'-0"



CLIENT:  
ANDERSON  
LANDSCAPING  
352 MEMORIAL HIGHWAY  
NORTH YARMOUTH, ME 04105

PRELIMINARY  
NOT FOR CONSTRUCTION

TUTTLE ROAD SUBDIVISION

CUMBERLAND, ME

PROPOSED SUBDIVISION

[illegible]

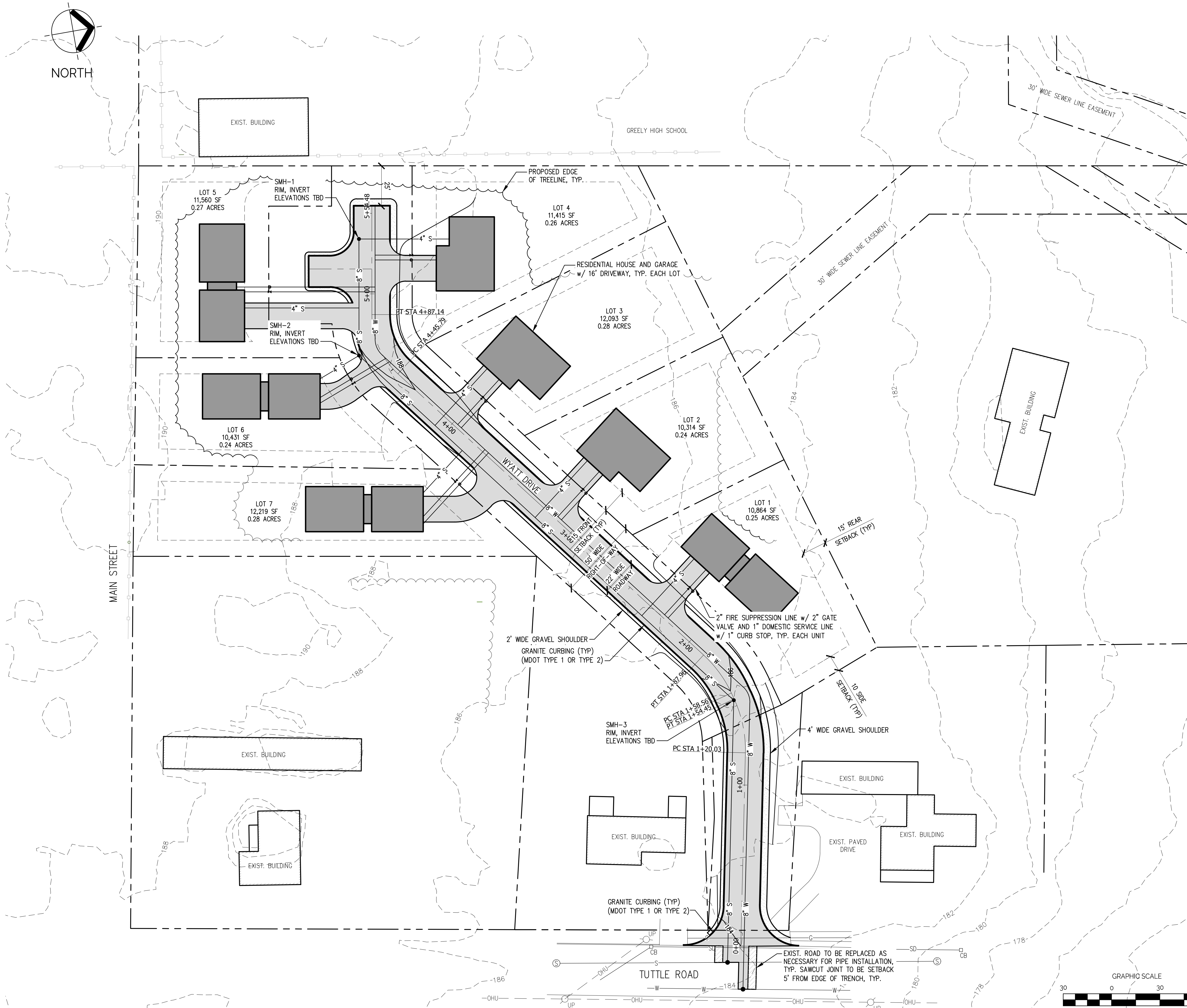
SHEET TITLE

## EXISTING SITE PLAN

DESIGNED:	DL
DRAWN:	DL
DATE:	04-21-22
PROJECT NUMBER:	22-103

C100





PROPOSED SITE PLAN

ZONE: TOWN CENTER DISTRICT	REQUIRED	PROPOSED
MIN. FRONTAGE	80'	80.00'
MIN. LOT SIZE	10,000 SF	10,314 SF
FRONT SETBACK	15'	15'
SIDE SETBACK	10'	10'
REAR SETBACK	15'	28.94'

IMPERVIOUS AREA TABLE		
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CLIENT:  
ANDERSON  
LANDSCAPING  
352 MEMORIAL HIGHWAY  
NORTH YARMOUTH, ME 04097

PRELIMINARY  
NOT FOR CONSTRUCTION

TUTTLE ROAD SUBDIVISION  
CUMBERLAND, ME  
WYATT DRIVE  
PROPOSED SUBDIVISION

ISSUED	DESCRIPTION	DR	BY	CHKD	DATE
	ISSUED FOR REVIEW	XX	XX	XX	XX-XX-XX
N6	A				

SHEET TITLE:

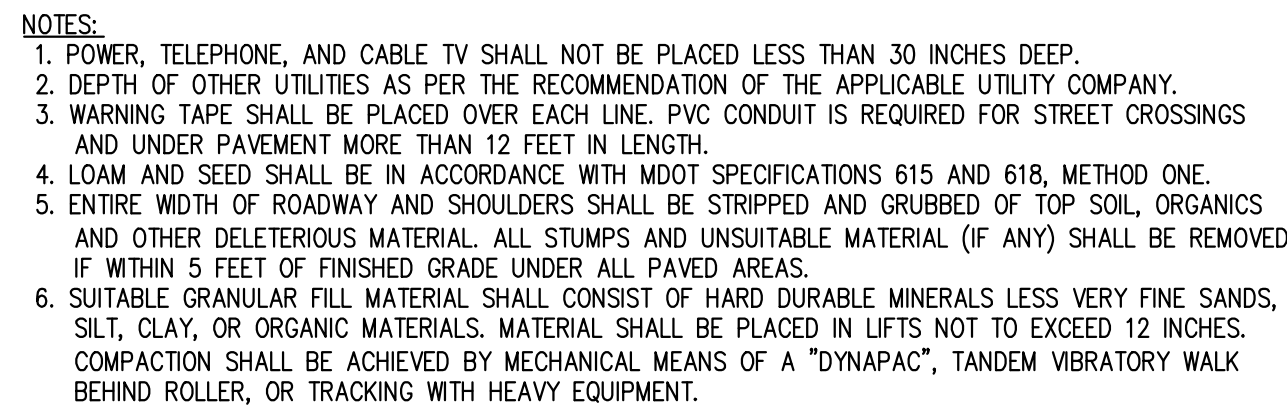
PROPOSED GRADING  
AND DRAINAGE PLAN

DESIGNED:	DL
DRAWN:	DL
DATE:	04-21-22
PROJECT NUMBER:	22-103

C101

SCALE: 1" = 30'-0"



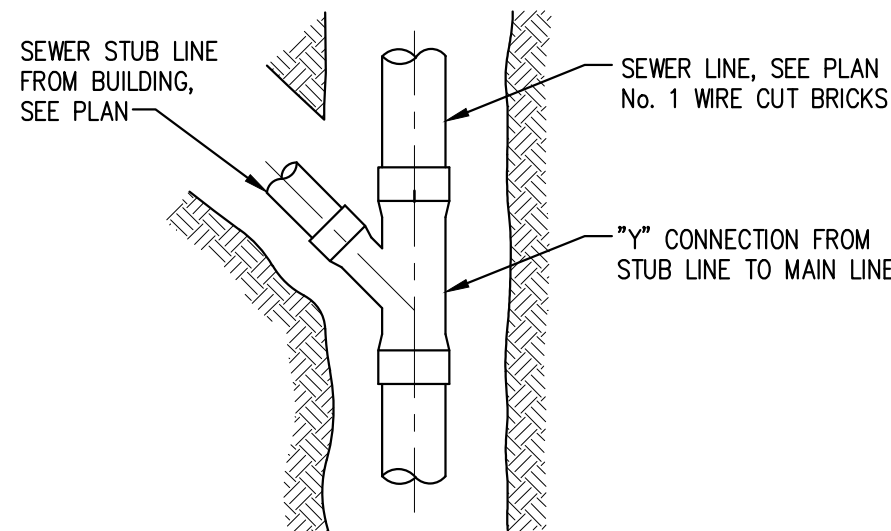
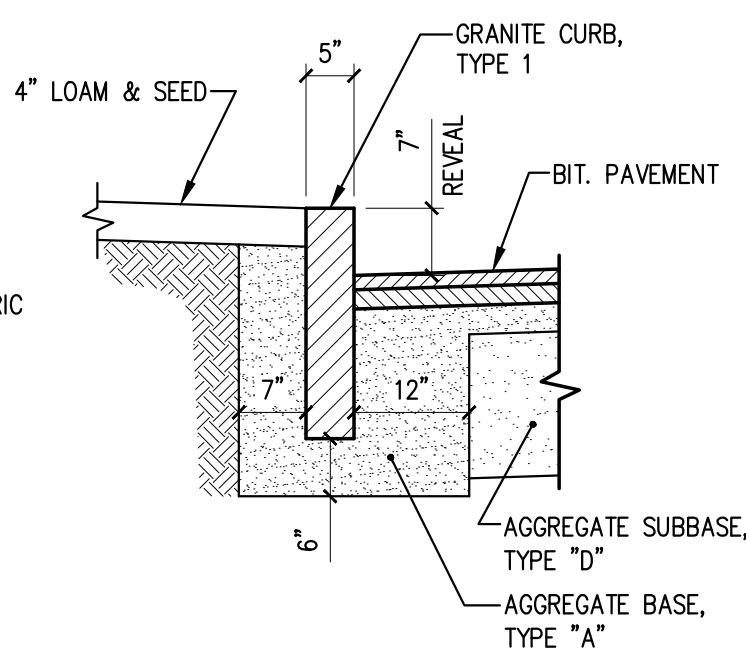
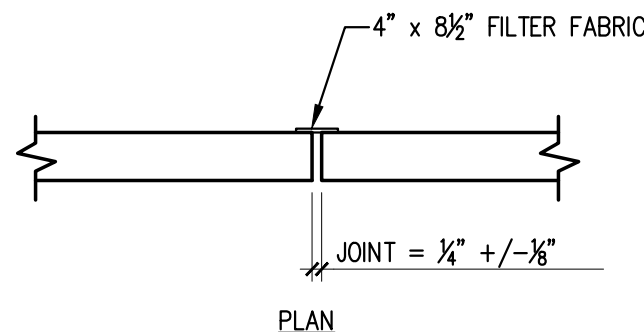
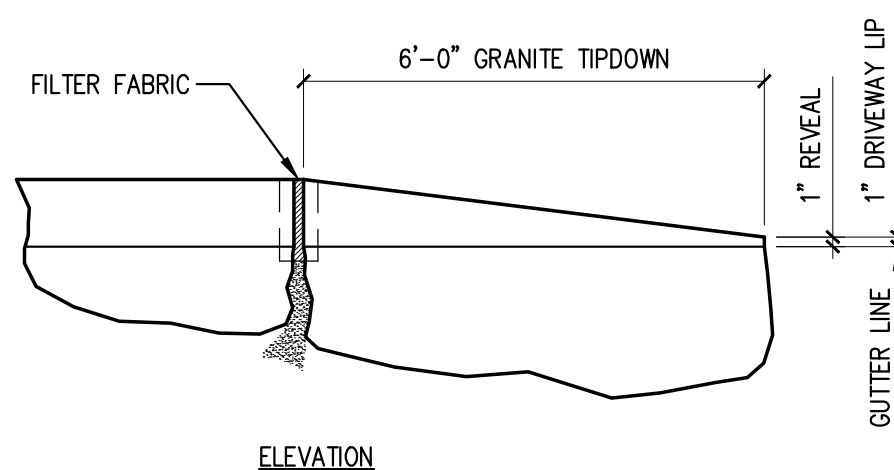


RECOMMENDED MINIMUM PLACEMENT TEMPERATURES FOR PLACEMENT						
BASE <sup>1</sup> TEMPERATURE °F	MAT THICKNESS, IN INCHES					
	1/2	3/4	1	1 1/2	2	3
+40 - 50	-	-	310	300	285	275
+50 - 60	-	310	300	295	280	270
+60 - 70	310	300	280	285	275	265
+70 - 80	300	290	285	280	270	265
+80 - 90	290	280	275	270	265	260
+90	280	275	270	265	260	255
ROLLING TIME MIN.	4	6	8	12	15	15

1 BASE ON WHICH MIX IS PLACED.  
2 AND GREATER



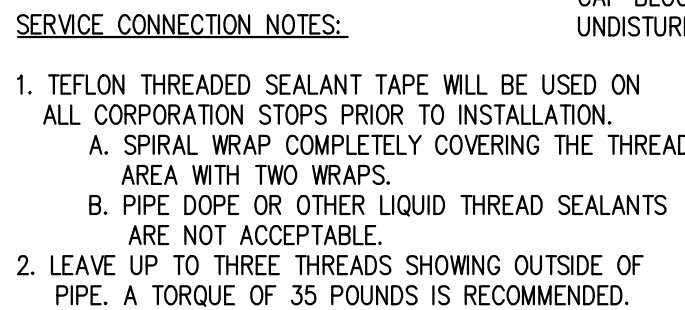
SCALE: NTS



## SCALE: NTS

SCALE: NTS

SCALE: NTS



- GENERAL NOTES**
1. CONTRACTOR SHALL CONFIRM ALL PIPE SIZES WITH THE CITY WATER DISTRICT.
  2. WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE CITY WATER DISTRICT STANDARDS.
  3. CONTRACTOR SHALL STUB NEW SERVICES AT THE EDGE OF THE R.O.W. IN THE MIDDLE OF EACH LOT, UNLESS OTHERWISE NOTED ON THE PLAN/PROFILES.
  4. FINAL LOCATION OF ALL BLOW OFF VALVES, SHUT OFF VALVES, STREET BOXES AND HYDRANT VALVES SHALL BE IN ACCORDANCE WITH THE CITY WATER DISTRICT.

SCALE: NTS

CLIENT:

ANDERSON  
LANDSCAPING

352 MEMORIAL HIGHWAY  
NORTH YARMOUTH, ME 04097

PRELIMINARY  
NOT FOR CONSTRUCTION

TUTTLE ROAD SUBDIVISION  
WYATT DRIVE  
CUMBERLAND, ME

TUTTLE ROAD SUBDIVISION

PROPOSED SUBDIVISION

[illegible]

SHEET TITLE

## SITE DETAILS

DESIGNED:	DL
DRAWN:	DL
DATE:	04-21-22
PROJECT NUMBER:	22-103

C200



EROSION AND SEDIMENTATION NOTES

1. THIS PLAN HAS BEEN DEVELOPED TO PROVIDE A STRATEGY FOR DEALING WITH SOIL EROSION AND SEDIMENTATION DURING AND AFTER PROJECT CONSTRUCTION. THIS PLAN IS BASED ON THE STANDARD AND SPECIFICATIONS FOR EROSION PREVENTION AS CONTAINED IN THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: "MAINE EROSION AND SEDIMENT CONTROL BMPs" PUBLISHED BY THE MAINE DEP, LATEST EDITION.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES

1. EROSION/SEDIMENT CONTROL DEVICES
- THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.
- 1.1 SILT FENCE: SILT FENCE WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SILT FENCE WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SILT FENCE AND TO PROVIDE ADDITIONAL TREATMENT.
- 1.2 HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
- 1.3 RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
- 1.4 LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
- 1.5 STRAW AND HAY MULCH: USED TO COVER DENUDED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. ALL OTHER SLOPES MUST BE COVERED WITH JUTE MESH OVER MULCH, OR CURLEX II OR EXCELSIOR MAY BE USED IN PLACE OF JUTE MESH AND MULCH OVER LOAM AND SEED.
- 1.6 MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
2. TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES
- PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:
- 2.1 SILTATION FENCE ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SILTATION FENCE WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
- 2.2 HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SILT FENCE.
- 2.3 PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
- A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
- B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
- C. STABILIZE STOCKPILES WITHIN 15 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
- D. SURROUND STOCKPILE SOIL WITH SILTATION FENCE AT BASE OF PILE.
- 2.4 ALL DENUDED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 15 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOD WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
- 2.5 IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDED AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.
- 2.6 TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. PERMANENT EROSION CONTROL MEASURES
- THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:
- 3.1 ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
- 3.2 SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP.

CONSTRUCTION PHASE

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 15 DAYS, SEE ITEM NO. 4.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THEN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SILTATION FENCE BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 15 DAYS SHALL BE:
- A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
- B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
- C. INSTALL SILT FENCE AROUND STOCKPILE AT BASE OF PILE.
- STOCKPILES TO HAVE SILT FENCE INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.
4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 30 DAYS SHALL BE EITHER:
- A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
- B. SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1000 SQ. FT) AND MULCHED IMMEDIATELY.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
6. ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.

POST-CONSTRUCTION REVEGETATION

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

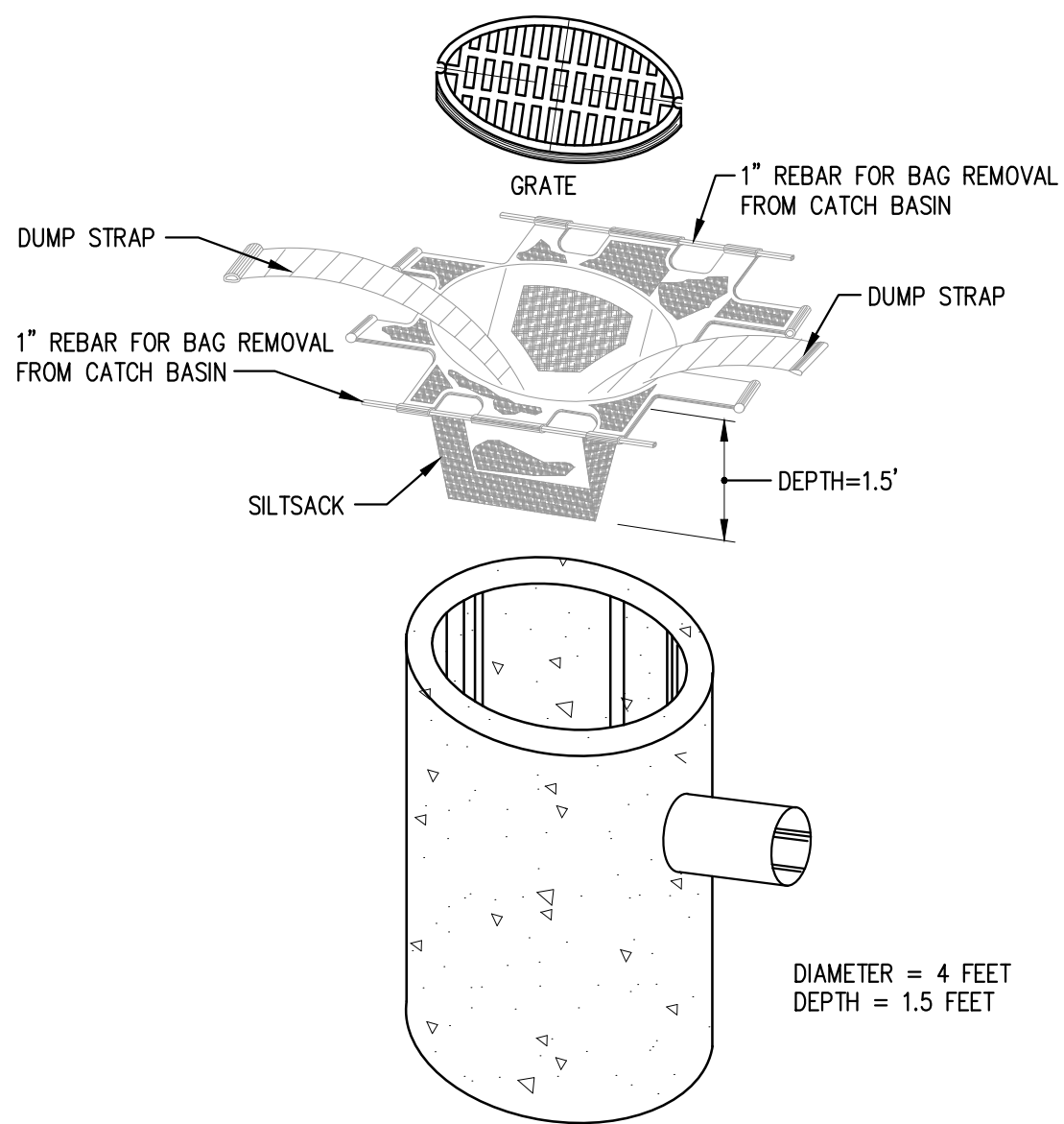
1. A MINIMUM OF 4" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:
- | LAWNS                                     | SWALES                            |
|-------------------------------------------|-----------------------------------|
| KENTUCKY BLUEGRASS 0.46 LBS/1000 SQ. FT.  | RED TOP 0.05 LBS/1000 SQ. FT.     |
| CREeping RED FESCUE 0.46 LBS/1000 SQ. FT. | TALL FESCUE 0.46 LBS/1000 SQ. FT. |
| PERENNIAL RYE GRASS 0.11 LB/1000 SQ. FT.  |                                   |
3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
- A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
- I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
- II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
- III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
- B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
- A. ONLY UNFROZEN LOAM SHALL BE USED.
- B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
- C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
- D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
- E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
- F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO.

MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SILT FENCE, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SILT FENCE BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDD AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.



"SILTSACK" INSTALLATION INSTRUCTION

1. REMOVE THE CATCH BASIN GRATE AND PLACE THE SACK INTO THE OPENING. HOLD OUT APPROXIMATELY SIX (6) INCHES OF THE SACK BEYOND THE BASIN FRAME TO ALLOW ACCESS TO THE "SILTSACK" LIFTING STRAPS. REPLACING THE GRATE BACK INSIDE OF ITS FRAME WILL HOLD THE SACK IN PLACE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND MAINTAINING THIS SEDIMENT CONTROL DEVICE. THE SACK IS CONSIDERED FULL AND READY TO EMPTY WHEN THE THE "RESTRAINT CORD" IS NO LONGER VISIBLE.
3. THE "SILTSACK" IS REMOVED BY PLACING TWO (2) PIECES IF 1 INCH DIAMETER REBAR THROUGH THE LIFTING LOOPS LOCATED ON EACH SIDE OF THE SACK AND LIFTING WITH AN APPROPRIATE PIECE OF CONSTRUCTION EQUIPMENT. THE LIFTING STRAPS ARE CONNECTED TO THE BOTTOM OF THE SACK AND THE LIFTING ACTION WILL CAUSE THE SACK TO TURN INSIDE OUT, AND EMPTYING THE CONTENTS. THE SACK SHOULD THEN BE CLEANED, RINSED AND RETURNED TO ITS ORIGINAL SHAPE AND PLACED BACK IN THE BASIN.
4. THE "SILTSACK" IS REUSABLE, THEREFORE, ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE THE SACK FROM THE BASIN, CLEAN AND STORE OUT OF DIRECT SUNLIGHT UNTIL ITS NEXT USE.
5. THE "SILTSACK" SEDIMENT CONTROL DEVICE IS MANUFACTURED BY: ACF ENVIRONMENTAL

EROSION CONTROL DURING WINTER CONSTRUCTION

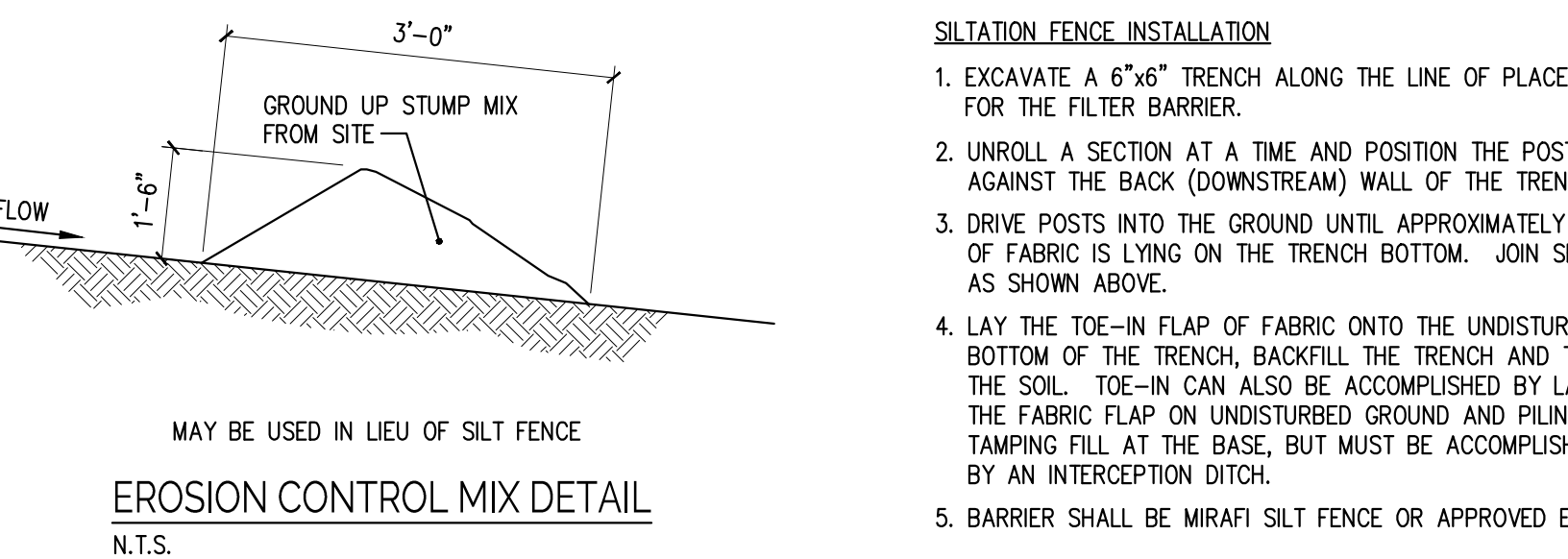
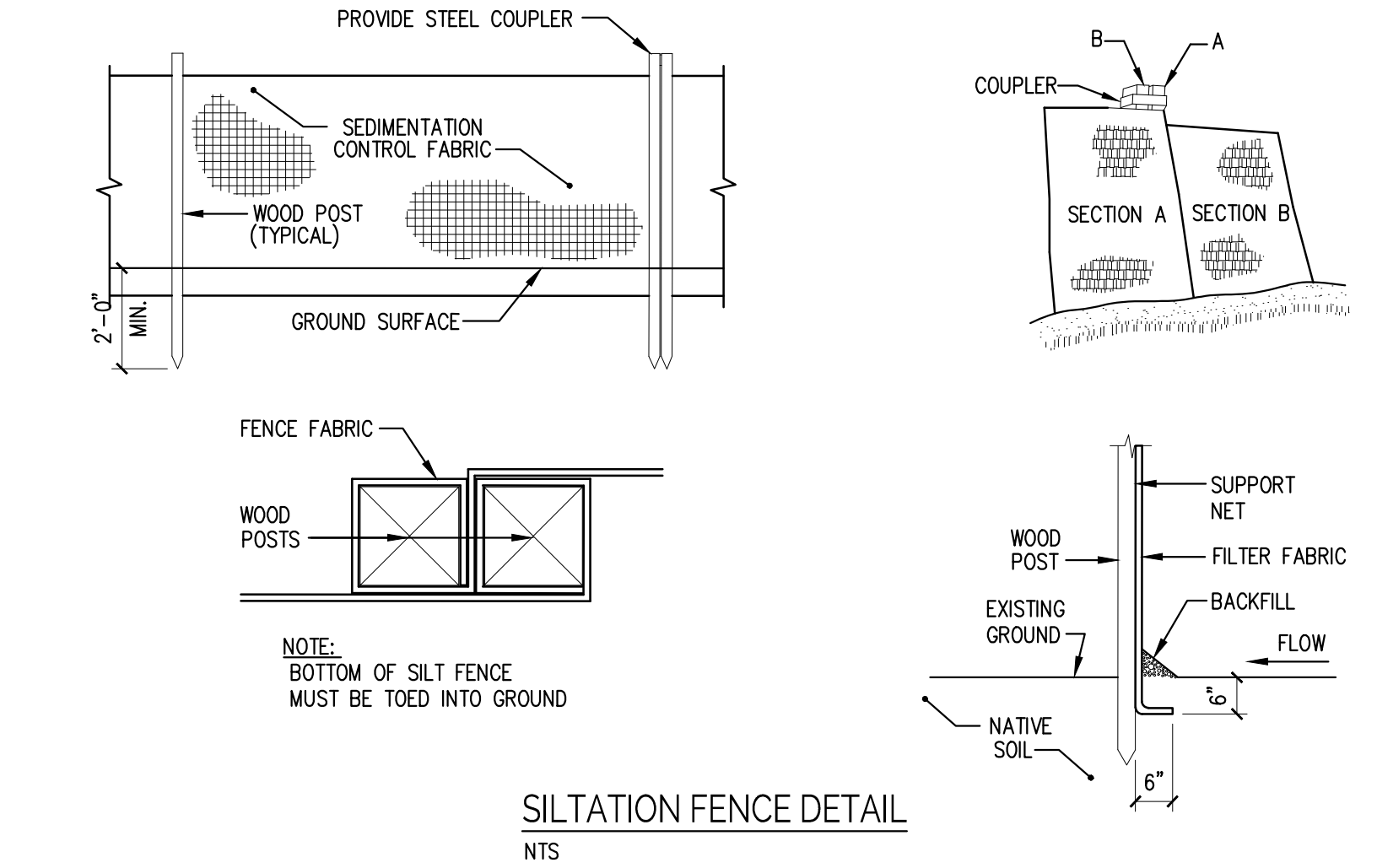
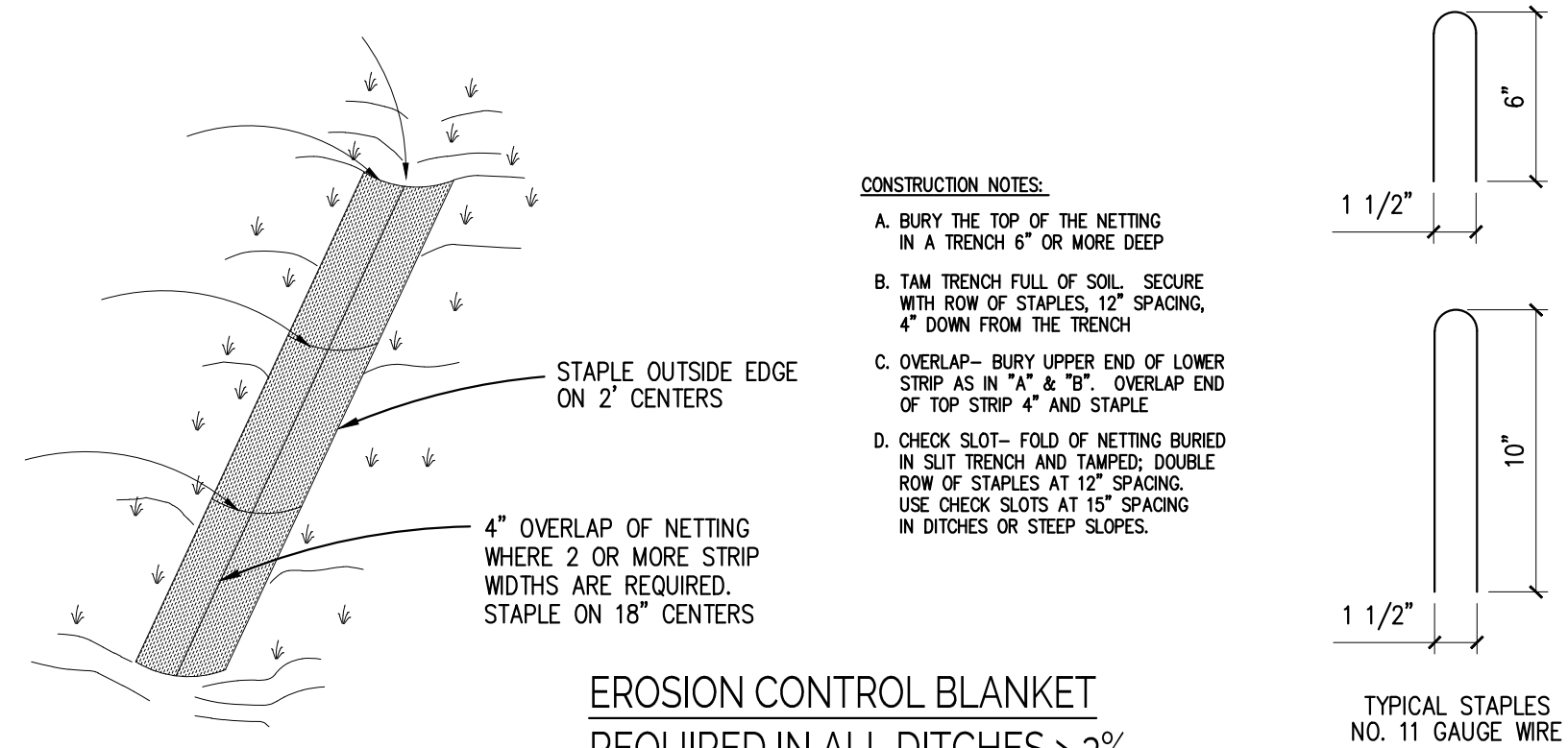
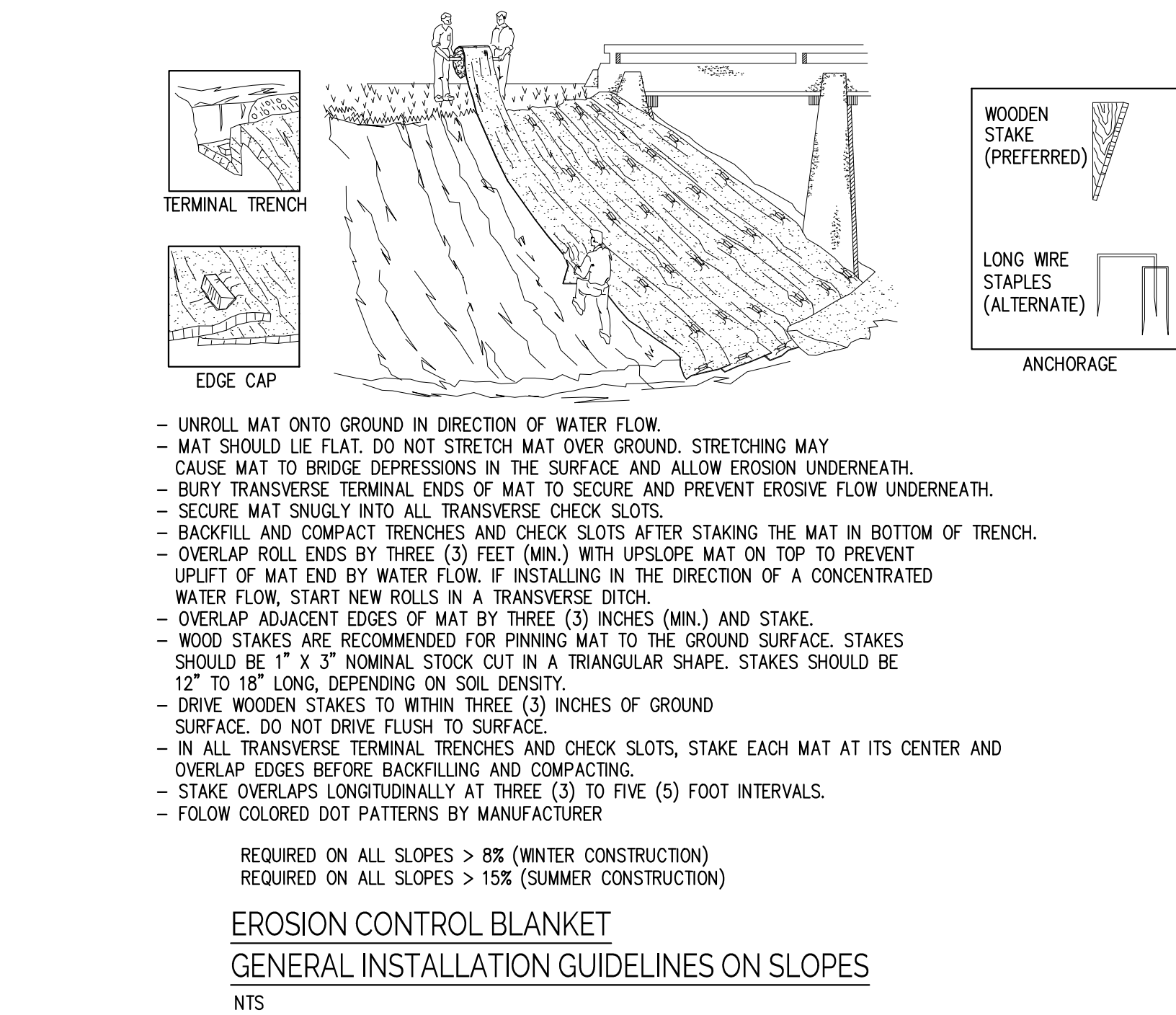
1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT; EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SILT FENCE OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE NOTE DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
8. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1 THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
9. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
10. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

SITE INSPECTION AND MAINTENANCE

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER TO THE CITY.

MAINTENANCE AFTER CONSTRUCTION

1. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER OR THEIR DESIGNEE. SUCH RESPONSIBILITIES INCLUDE BUT ARE NOT LIMITED TO THOSE DETAILED AS FOLLOWS:
- A. PARKING LOT SHALL BE MECHANICALLY SWEEP TWICE PER YEAR. THE FIRST SHALL TAKE PLACE IN THE MID WINTER (JANUARY THRU) TO REMOVE ACCUMULATED SANDS FROM WINTER SANDING TO THIS POINT. THE SECOND SWEEPING SHALL TAKE PLACE AFTER WINTER SANDING OPERATIONS TERMINATE BUT PRIOR TO MAY 1.
- B. INSPECTION OF STORMWATER OUTLET STRUCTURE SHOULD BE CONDUCTED TWICE PER YEAR. ACCESS TO THE STRUCTURE IS THROUGH THE TOP. THE OIL/WATER SEPARATOR UNIT SHALL BE PUMPED DOWN AND THE SEDIMENT AND TRASH SHALL BE REMOVED AT THE TIME OF THE INSPECTION. THE REMOVAL OF ALL SEDIMENT AND TRASH WILL HELP MINIMIZE VOLUME LOSS.
2. THE OWNER SHALL FILE A YEARLY MAINTENANCE REPORT TO THE CITY DOCUMENTING THE REQUIRED MAINTENANCE FOR THE STORMWATER SYSTEM.



PRELIMINARY  
NOT FOR CONSTRUCTION

TUTTLE ROAD SUBDIVISION  
CUMBERLAND, ME  
WYATT DRIVE  
PROPOSED SUBDIVISION

ISSUED	DATE	BY	CHKD	DATE	BY	CHKD
DESCRIPTION	ISSUED FOR REVIEW	XX	XX	XX-XX-XX	XX	XX
No.	A					

SHEET TITLE:

EROSION CONTROL DETAILS

DESIGNED: DL  
DRAWN: DL  
DATE: 04-21-22  
PROJECT NUMBER: 22-103

C300