

Lands and Conservation Commission Review of Ross Estates

Based on 8/17/21 Sitelines Plans submission

The Lands and Conservation Commission (LCC) has reviewed the August 17, 2021 submission for Ross Estates subdivision. The subdivision contains high-value conservation areas including healthy, native forests, streams, wetlands, wildlife habitat, trails, and a vernal pool.

Trails: As shown in the plans, the property has two existing trails which cross the property. Both existing trails cross proposed lots within the subdivision. In order to maintain trail connectivity, the plans call for these trails to be relocated in the proposed open space for the subdivision. The LCC finds the relocation of the trails to be acceptable.

Open Space: The proposed open space in the plan should help protect the high-value conservation areas and provide an adequate corridor for wildlife movement within the area. In addition, the open space will allow for the possibility of connecting trails with neighboring subdivisions. The LCC finds the proposed open space acceptable.

Ownership of Open Space: The subdivision plans call for the developers to donate the open space to the Town. This would be similar to the Town-owned open space surrounding the nearby West Branch subdivision. The LCC supports this donation. However, if the offer to donate the open space to the Town is not accepted by the Town Council, the LCC strongly recommends that the Town acquire a deeded conservation easement on the open space in order to protect the high-value conservation areas and allow for future trail development.

MEMO

To: Kevin Clark

Fr: David Pierson

Date: June 10, 2021

Re: Nate Ross / Blanchard Road Extension Agreement

As we discussed, I reviewed the attached Declaration of Covenants Amending and Replacing Road Maintenance Agreements that was recorded in the Cumberland County Registry of Deeds in Book 23480, Page 223 in November, 2005 (the “Declaration”) for Nate last spring. I also cross-referenced the parties to the Declaration with the Town’s tax records to determine the lot owners as of May, 2020 (“Owners”) entitled to use the Road and have noted their names on the lots shown on the attached sketch plan¹ of the Blanchard Road Extension (“Road”).

The Blanchard Road Extension Road Association, Inc. was organized in 2005 to deal with the maintenance of the Road and assesses the costs to the owners in accordance with the Amended Road Maintenance Agreement attached to the Declaration as Exhibit 1 (the “Maintenance Agreement”). The specifics regarding the Association are (or should be) contained in its bylaws. I don’t have a copy of them and recommend obtaining one from the association.²

The Maintenance Agreement sets out the respective rights and obligations of the Owners regarding their responsibility for the costs of maintenance of the Road. The Road is shown on the Standard Boundary Survey of Land of Robert J. Piampiano, which is recorded in the Cumberland County Registry of Deeds in Plan Book 201, Page 104. The Maintenance Agreement divides the Road into three sections. Section A extends from the end of the Town road to a “Y” where it splits into Sections B and C as generally shown on the attached sketch plan. All of the Owners contribute to the maintenance of Section A. The Owners abutting Sections B & C are responsible for the cost of maintaining the section they abut in addition to their responsibility for maintaining Section A. The lots Nate purchased are on Section C, as is the lot formerly owned by Yovino which was sold to Falk.

Paragraphs 6 and 9 (Section A Obligations & Section C Obligations) conclude with the statement that “If an owner transfers all or a portion of his or her property, thereby creating additional parcels served by this Section, then additional shares shall be created which shares shall also pay such costs equally.” Therefore, additional lots created are subject to the Maintenance Agreement. No new association need be created.

¹ The sketch plan is a section of the Town’s Tax Map R-8,

² Laura Friedman is the registered agent so she should have a copy.

Paragraphs 10 – 20 of the Maintenance Agreement set out the general obligations of all of the Owners. In Paragraph 16, the Piampianos, for themselves and their assigns, reserved the right to “extend or improve” the existing road at their own cost, subject to the conditions that (1) none of the other Owners would be compelled to pay for the cost of paving the road or (2) any increased costs of maintaining or repairing any pavement. Arguably, Paragraph 16 of Maintenance Agreement allows Nate to extend the Section C without the consent of the other owners. So does Paragraph 12, as long as Nate pays for the cost of the extension. Nonetheless, it would be wise to get an agreement with Falk to avoid any argument over the extension.

The following table lists the names of each Owner and their respective shares of the maintenance costs. As it stands, Nate owns two lots, each of those lots and is responsible for 10% (a single share) of maintaining Section A and 33.3% of the cost of maintain Section C.³ *Maintenance Agreement* ¶ 6 (Section A), ¶ 9 (Section B). If an additional lot (a total of four lots) is created, the responsibility for maintenance would be adjusted and each lot on Section C would be responsible for 25% of the cost to maintain that section. *Id.* Given the extension, Falk might be concerned that his cost would increase due to the added length.

	SECTION A			SECTION B			SECTION C	
LOT	Owner	Share	Owner	Share	Owner	Share		
68	Freidman	1	Freidman					
68A	McCormack Tee	1	McCormack Tee	1				
68B	Jones f/o Geisler	1						
68C	Briggs f/o R&B Piampiano	1	Briggs f/o R&B Piampiano	2?				
68D	Kalinich	1	Kalinich	1				
68E	Wildes	1	Wildes	1.5				
68F	Yovino f/o Kibler Now Falk	1			Yovino f/o Kibler Now Falk	1		
68G	B. Piampiano Now Ross	1			B. Piampiano	1		
68H	Fairbanks f/o HW Builders	1	Fairbanks f/o HW Builders	2				
68I	R. Piampiano Now Ross	1			R. Piampiano	1		
R7D 15	Chase Home Construction	N/A	N/A		N/A			
	Total Shares	10		7.5		3		

Source: *Maintenance Agreement* ¶¶ 6-9.

³ Paragraph 3 states that Friedman uses Sections A & B for access, but Friedman is not mentioned in Paragraph 4 which relates to Section C.

MAJOR CONSERVATION SUBDIVISION PRELIMINARY PLAN APPLICATION

ROSS ESTATES TAX MAP R08, LOT 68I

BLANCHARD ROAD EXTENSION
CUMBERLAND, MAINE

Revised August 17, 2021

Prepared For

STONEWOOD LAND, LLC

8 Roberts Street
Falmouth, ME 04105

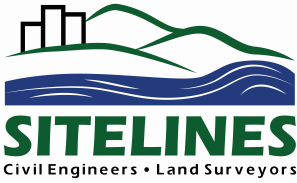
Prepared By



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207-725-1200 ▪ www.sitelinespa.com

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Revised August 17, 2021

4185-7

Ms. Carla Nixon, Town Planner
Town of Cumberland
290 Tuttle Road
Cumberland, Maine 04021

Re: Major Conservation Subdivision – Preliminary Plan Application
ROSS ESTATES
BLANCHARD ROAD EXTENSION, CUMBERLAND
Tax Map R08, Lot 68I

Dear Carla:

On behalf of Stonewood Land, LLC (Applicant), Sitelines, PA is pleased to submit the enclosed Preliminary Plan Application for the development of a three (3) lot subdivision on Blanchard Road Extension in Cumberland. This letter is intended to summarize the project in order to facilitate the review process. A check for the \$2,200 fee has been submitted under separate cover.

PROPERTY

The Applicant owns a parcel of land located along a private right-of-way off Blanchard Road Extension. The parcel is identified as Tax Map R08, Lot 68I on the Town of Cumberland Tax Maps. The parcel contains 12.41± acres and has frontage on the private right-of-way. The site has not been previously developed and consists mostly of forested area. Existing features on the site include rock walls, streams, trails, wetlands, and a vernal pool. Wetlands were delineated by Albert Frick Associates in May 2020. The property is located in the Rural Residential 2 (RR2) Zoning District and not is adjacent to any other Town of Cumberland district. It is outside the limits of any Town Overlay Zones. Single-family detached dwellings is a permitted use the RR2 zoning district.

The site includes two types of high-value conservation areas that have been noted in the enclosed plans. The entire site is wooded and presumed to be a native, healthy forest. Two (2) existing trails pass through the site that have connectivity to Town and/or conservation lands. The site is not a known habitat for endangered or threatened species or significant wildlife habitat. The site does not include significant natural features or scenic views, historical/archaeological sites, or prime agricultural land. The site is not within the 100-year flood plan nor any resource protection district.

SITELINES • CIVIL ENGINEERS • LAND SURVEYORS
119 Purinton Road, Suite A, Brunswick Landing, Brunswick, ME 04011
207-725-1200 • www.sitelinespa.com

Gross Acreage:	540,475 s.f.	=	12.41 acres
Slopes (20%):	0 s.f.	=	0.00 acres
Wetlands:	38,475 s.f.	=	0.88 acres
100yr Flood:	0 s.f.	=	0.00 acres
Rights-Of-Way:	0 s.f.	=	0.00 acres
Rp District:	0 s.f.	=	0.00 acres
Net Residential Acreage:	502,000 s.f.	=	11.52 acres

The property is subject to and benefitted by the attached Declaration of Covenants Amending and Replacing Road Maintenance Agreements that was recorded in the Cumberland County Registry of Deeds in Book 23480, Page 223 (Maintenance Agreement). Additional lots created will also be subject to the Maintenance Agreement and will be required to pay an equal share of the costs as defined in the Maintenance Agreement. Any Road improvements necessary within Section A or Section C as defined in the Maintenance Agreement, as well as construction the new private road, will be the responsibility of Stonewood Land, LLC.

SITE DESIGN

The proposed subdivision consists of dividing the existing lot into three (3) residential lots and an area of proposed private right-of-way. The proposed lots have frontage on a new proposed private right-of-way. The proposed wetland impacts of 2,558 s.f. are below any permitting threshold. The proposed activity within 75' of a stream will necessitate a Maine Department of Environmental Protection (MDEP) Natural Resources Protection Act (NRPA) Permit by Rule (PBR).

In accordance with Section 250-14 of the Town Ordinance, two options for the proposed subdivision were presented to the Planning Board at the Preapplication Workshop on March 16, 2021. The Planning Board voted that the project shall move forward as a Conservation Subdivision. Enclosed is an updated Conservation Subdivision layout.

The proposed subdivision was approved at the Sketch Plan Review level at the May 18, 2021 Planning Board Meeting.

The enclosed Conservation Subdivision Layout has been designed in accordance with *Section 250-6 CONSERVATION SUBDIVISION STANDARDS* of the Town Ordinance. The layout was designed to preserve the natural features of the site and to prioritize conservation of “high value conservation areas” while siting the proposed building windows adjacent to the passing test pits for the future subsurface wastewater disposal systems. The Conservation Option includes three (3) lots, a private right-of-way, and Open Space. In accordance with the Conservation Subdivision open space requirement, the Open Space encompasses a total of 6.39 acres, or approximately 51%, of the 12.41-acre total parcel. The proposed 36' private right-of-way encompasses 0.26 acres. The Net Residential Acreage of the site is approximately 11.27 acres



when accounting for the existing wetlands and right-of-way. The maximum number of lots allowed is the net residential acreage divided by the 2-acre minimum lot size in the RR2 district, or 5.63 lots. The minimum lot size is calculated at 50% of the gross acreage divided by the maximum number of lots allowed, or 1.10 acres. Proposed Lots A, B, & C encompass 1.92 acres, 1.90 acres, and 1.95 acres, respectively. The layout includes a buffer of 75' around the perimeter of the existing lot and proposed subdivision. The plan shows the locations of the natural features of the site and the locations of the passing test pits for the future subsurface wastewater disposal systems.

Gross Acreage:	540,475 s.f.	=	12.41 acres
Slopes (20%):	0 s.f.	=	0.00 acres
Wetlands:	38,475 s.f.	=	0.88 acres
100yr Flood:	0 s.f.	=	0.00 acres
Rights-Of-Way:	11,115 s.f.	=	0.26 acres
Rp District:	0 s.f.	=	0.00 acres
Net Residential Acreage:	490,885 s.f.	=	11.27 acres

Maximum Number of Lots Allowed: $11.27 \text{ acres} / 2 \text{ acres} = 5.63 \text{ Lots}$

Minimum Lot Size: $50\% \text{ of Gross Acreage} / \text{Maximum Number of Lots Allowed}$
 $6.20 \text{ acres} / 5.63 \text{ lots} = \underline{1.10 \text{ acres}}$

The building envelopes have been sited to preserve the natural features of the site and permitting requirements for the wetlands, stream setbacks, and vernal pool habitat necessitate the preservation of these features. Connectivity for the existing trails will be retained.

The road is designed in accordance with the Town Subdivision Road Standards as a "Residential Access $< / = 50 \text{ vpd}$ " with a gravel surface. The road includes 9' wide gravel travel lanes and 2' side gravel shoulders within a 36' private right-of-way.

REVIEW STANDARDS

To facilitate your review of our proposal, the following issues are summarized in accordance with *CHAPTER 250 - SUBDIVISION OF LAND* of the Cumberland Code:

250-1 PURPOSE

The proposed development is in compliance with the standards set forth in Chapter 250 – Subdivision of Land.

250-4 SUBDIVISION APPROVAL CRITERIA

A. Pollution

The subdivision will not result in undue water or air pollution.



The development has been designed outside of any flood plains.

A subsurface investigation confirmed that the soils and subsoils are adequate to support waste disposal and passing test pits were confirmed for each proposed lot; the soil test pit logs are enclosed. All lots will utilize properly sized underground wastewater disposal systems. The large lot sizes and slope of the land are sufficient for the disposal systems; the disposal systems will have no effect on offsite areas. Streams will not be utilized for disposal of effluents.

B. Sufficient water

Municipal water is not available. The proposed lots will be serviced by private wells. After reviewing the Maine Well Database, there appears to be adequate groundwater available in the surrounding area. As shown on the enclosed map, there are existing wells in the surrounding area that provide flow rates ranging from 2.0 gpm to 50 gpm. As is typical in most areas, well flow rates can vary greatly, and are not typically impacted by surrounding development unless density is increased substantially over a long period of time. The proposed development is meeting the density requirements of the Zoning District and is not anticipated to adversely impact the existing groundwater in the surrounding areas.

C. Municipal water supply

Municipal water is not available. The proposed lots will be serviced by private wells to be located by the future individual lot owners.

D. Erosion

The disturbed areas of the site will be isolated through the use of silt fence and other measures to minimize the transport of sediment from the site. The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Control, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements.

E. Traffic

The anticipated traffic generation for the three (3) proposed single-family lots is estimated at an average of one (1) vehicle trip per hour and ten (10) vehicle trips per day (VPD) per each lot. This level of additional trips does not trigger any traffic permitting thresholds, including the 100 new peak hour trips threshold for a Maine DOP Traffic Movement Permit. The development will not cause unreasonable congestion or unsafe conditions on highways or public roads and the traffic



associated with the development shall maintain the existing Level of Service on any public road within 200 feet of any existing or proposed curb cut.

F. Sewage disposal

The proposed lots will be serviced by individual subsurface wastewater disposal systems. Passing test pits were observed on each of the lots by Albert Frick Associates, Inc. The Wetlands and Soil Suitability Report includes Test Pit Logs and is enclosed with this submission.

G. Municipal solid waste disposal

The three (3) proposed residential lots will create low amounts of solid waste. The proposed development is meeting the density requirements of the Zoning District and is not anticipated to cause an unreasonable burden on the municipality's ability to dispose of solid waste.

H. Aesthetic, cultural and natural values

The proposed subdivision will not have an undue adverse effect on the scenic or natural beauty of the area. An area of 6.39 acres will be preserved in Open Space and much of the natural features of the site including wetlands, vernal pool, and streams will be protected within site and natural resource setbacks.

I. Conformity with local ordinances and plans

The proposed subdivision has been designed in compliance with the standards set forth in the applicable Town ordinances, plans, and standards.

J. Financial and technical capacity

The Applicant owns the parcel, and a copy of the deed is enclosed with this application. The proposed improvements will be completed with operating funds of Stonewood Land, LLC.

K. Surface waters; outstanding river segments

Wetlands on the site were delineated by Albert Frick Associates, Inc. in May of 2020. The development of the three (3) proposed single-family residential lots has been designed to avoid wetland impacts to the maximum extent practicable and will involve the filling of 2,558 s.f. of wetland which is below MDEP permitting thresholds. The proposed development will not adversely affect the quality of the wetlands. The site is not situated in the watershed of a pond or lake.

L. Groundwater

The project will not extract groundwater for operations. The lots will be serviced by a private wells and private subsurface wastewater disposal systems. Providing that



the septic systems are installed and maintained as designed, no undue adverse effect on the quality or quantity of groundwater will occur as a result of this project.

M. Flood areas

The development is not in the Shoreland Overlay District. The project area is in Zone C (Areas of Minimal Flooding) of the Flood Insurance Rate Maps (FIRMs) for Town of Cumberland, Maine, Cumberland County. The project area is located on Panel 10 of 25 (Community Panel 230162-0010-B, Effective May 19, 1981). An excerpt of the applicable FIRM is enclosed.

N. Stormwater

In the existing condition, the site is undeveloped and wooded. The site drains generally toward the south; runoff leaves the site in existing drainageways and streams and ultimately enters the Piscataquis River.

The proposed private road will create 7,245 s.f. (0.16 acres) of impervious area. The construction and grading of the proposed road will disturb approximately 15,000± s.f. (0.34 acres). The runoff from the private gravel road will be directed downstream into existing drainageways. The proposed impervious and disturbed areas are below any permitting thresholds for stormwater treatment.

The disturbed areas of the site will be isolated using silt sock and other measures to minimize the transport of sediment from the site. The project has been designed to incorporate Best Management Practices as outlined in the Maine Erosion and Sediment Control BMPs as published by the Maine Department of Environmental Control, current edition. Specific provisions for permanent and temporary erosion control features have been provided in the construction drawings. The contractor will be bound to meet the performance standards of the BMPs including erosion control, stabilization, maintenance, and inspection requirements.

O. Freshwater wetlands

Wetlands on the site were delineated by Albert Frick Associates, Inc. in May of 2020. The development of the three (3) proposed single-family residential lots has been designed to avoid wetland impacts to the maximum extent practicable and will involve the filling of 2,558 s.f. of wetland which is below MDEP permitting thresholds. The proposed development will not adversely affect the quality of the wetlands.

P. River, stream or brook

The streams on the site were delineated by Albert Frick Associates, Inc. in May of 2020. The development of the three (3) proposed single-family residential lots has



been designed to avoid direct stream impacts but the proposed activity within 75' of a stream will necessitate a Maine Department of Environmental Protection (MDEP) Natural Resources Protection Act (NRPA) Permit by Rule (PBR). Future landowners will be responsible for obtaining any MDEP permits required for stream and wetland impacts from driveway individual lot development.

250-5 GENERAL SUBDIVISION STANDARDS

A. General

The proposed three (3) lot residential subdivision has been designed as a Conservation Subdivision in accordance with the Planning Board's decision at the preapplication workshop on Tuesday, March 16, 2021.

B. Criteria to be considered

The proposed three (3) lot residential subdivision has been designed as a Conservation Subdivision in accordance with the Planning Board's decision.

(1) Water

The proposed lots will be served by individual private wells.

(2) Wastewater

The proposed lots will be serviced by individual subsurface wastewater disposal systems. Passing test pits were observed on each of the lots

(3) Open Space

The site of the proposed subdivision is forested and primarily abuts forested area which includes dedicated open space and residential lots. Existing trails traverse the site and the proposed open space has been sited to permit trail connectivity across the site within the dedicated open space.

There are no significant wildlife habitats or fisheries on the site. The existing wetlands, vernal pool, and streams were field located and are shown on the plans. The parcel does not contain or adjoin a Resource Protection District and does abut existing Open Space.

250-6 CONSERVATION SUBDIVISION STANDARDS

A. Conservation subdivision option

The site is located in the RR2 Zoning District. The proposed three (3) lot residential subdivision has been designed as a Conservation Subdivision in accordance with the Planning Board's determination at the preapplication workshop on Tuesday, March 16, 2021. More than six (6) acres of open space will be preserved with the proposed development.



B. Perimeter buffer

The 75-foot perimeter buffer has been incorporated into the proposed design where existing trees and vegetation will be preserved.

C. Minimum common open space requirement

The proposed development includes three (3) lots, a private right-of-way, and Open Space. In accordance with the Conservation Subdivision open space requirement, the Open Space encompasses a total of 6.52 acres, or 53%, of the 12.41-acre total parcel. The open space includes the vernal pool depression and most of the area of the 100-foot setback despite that the vernal pool is not significant, and much of the wetland and stream area of the site. The open space is also designed to allow for the continuity of the existing trails that cross the site.

D. High-value conservation areas

The site includes two types of high-value conservation areas that have been labeled on the enclosed plans. The entire site is wooded and presumed to be a native, healthy forest. Two (2) existing trails pass through the site that have connectivity to Town and/or conservation lands. The site is not a known habitat for endangered or threatened species or significant wildlife habitat. The site does not include significant natural features or scenic views, historical/archaeological sites, or prime agricultural land. The site is not within the 100-year flood plan nor any resource protection district.

E. Conservation subdivision additional standards

The individual lots of the proposed subdivision will be owned by the individual landowners. The Open Space is proposed to be offered to the Town of Cumberland. As determined using the net residential acreage calculation, the maximum density of this property is five (5) lots. The proposed subdivision includes three (3) single family residential lots.

F. Conservation subdivision standards

(1) Lot density calculation

(a) Lot density calculation

Gross Acreage:	540,475 s.f.	=	12.41	acres
Slopes (20%):	0 s.f.	=	0.00	acres
Wetlands:	38,475 s.f.	=	0.88	acres
100yr Flood:	0 s.f.	=	0.00	acres
Rights-Of-Way:	11,115 s.f.	=	0.26	acres
Rp District:	0 s.f.	=	0.00	acres
Net Residential Acreage:	490,885 s.f.	=	11.27	acres



The minimum lot size allowed in the RR2 zone is 2 acres.
Maximum Number of Lots Allowed: $11.27 \text{ acres} / 2 \text{ acres} = 5.63 \text{ Lots}$

(b) Minimum lot size.

Minimum Lot Size: $50\% \text{ of Gross Acreage} / \text{Maximum Number of Lots Allowed}$
 $6.20 \text{ acres} / 5.63 \text{ lots} = \underline{1.10 \text{ acres}}$

Each of the proposed lots exceeds the calculated minimum lot size for the RR2 zone. Proposed Lot A consists of $1.92\pm$ acres. Proposed Lot B consists of $1.90\pm$ acres. Proposed Lot C consists of $1.95\pm$ acres. No adjustments are requested or proposed.

(c) Lot setbacks

The setbacks for each of the proposed lots are shown on the plans

(d) Minimum lot frontage: 200 feet

Frontage is provided for each of the lots from the proposed private right-of-way. Frontage for each lot exceeds 200 feet.

(e) Minimum access easement to common open space

Access to the proposed common open space is provided from each of the proposed lots and the existing private right-of-way. Each of the three (3) proposed lots abuts the open space and allows access to the open space. The proposed common open space has frontage on the existing private right-of-way at the far east corner of the site.

(f) Sheds and driveways.

The three (3) lots will be sold and developed by the future landowners.

250-28 CONSIDERATIONS FOR APPROVAL

The proposed subdivision is in compliance with the standards set forth in Chapter 250 – Subdivision of Land.

250-29 REVIEW AND APPROVAL BY OTHER AGENCIES

Any necessary approvals will be submitted with the Final Application or upon receipt.

250-30 CONFORMITY WITH OTHER STATE AND LOCAL REGULATIONS

The proposed three lot subdivision has been designed in accordance with local and state regulations.



250-31 COMMON OPEN SPACES

The open space for the proposed conservation subdivision will be donated to the Town for conservation. The open space has been sited provide connectivity for existing trails that traverse the site and provide connection to adjacent conservation land. The open space allows for the relocation of the existing trails while maintaining connectivity.

250-32 PRESERVATION OF NATURAL FEATURES

The proposed subdivision includes the development of three (3) residential lots on 12.41 acres. The development will only disturb approximately 15,000 s.f., preserving many of the natural features of the parcel. The proposed road and lot layout corresponds with the existing topography to the maximum extent practicable.

The proposed subdivision incorporates a 75-foot wide buffer along the existing right-of-way and the remaining extents of the outer boundary of the parcel. Much of the wooded buffer is protected by the overlap of the proposed open space.

250-33 UTILITIES

The proposed lots will be serviced private well and subsurface wastewater systems on each lot; public water and wastewater systems are not available. Underground electric and communications will be extended from nearby services.

250-34 WATER SUPPLY

Public water is not available for this development and individual, and no water mains are proposed. The proposed lots will be served by individual private wells. Each well is tested for quantity and quality when drilled. Well locations are not included in the proposed design as each lot will be sold individually, and the wells will be located by each individual lot owners. A waiver is requested for the well locations. With the generous spacing of the proposed lots and orientation of the passing test pits for the proposed subsurface wastewater systems, each lot has adequate spacing for a proposed well. The enclosed map from the Maine Well Database shows that there appears to be adequate groundwater available in the surrounding area.

250-35 SEWAGE DISPOSAL

Public sewer is not available for this development and no new sewer system, or sewer system expansion, is proposed. The proposed lots will be served by individual private septic systems and leach fields. Each lot will be sold individually, and the subsurface wastewater systems will be located by each individual lot owner. HHE-200 designs will be provided by individual lot owners at the time of application for building permit. A waiver is requested for the septic plans. Soil test pits indicate adequate soils exist on each lot.

250-36 TREES, ESPLANADES AND PLANTING SCREENS

As the existing site is wooded, street trees are not warranted. The proposed wooded buffer along the site perimeter, in conjunction with the internal lot setbacks, will minimize any noise pollution within the site or emanating from the site; however, it is not anticipated that there will be any source of noise pollution from the proposed three-lot residential subdivision.

250-40 FIRE PROTECTION

The subdivision design must comply with Chapter 96, Article II, Fire Protection, of this Code.

Article II: Fire Protection

The proposed subdivision includes three (3) single-family residential lots and a 300± linear feet private right of way and is a major residential subdivision in accordance with the Town code. The proposed development will be required to meet the Fire protection requirements. As no public water supply exists to serve the development and the development cannot be designed with two entrances, approved automatic sprinkler systems will be required for the new dwelling units. Notes have been added to the subdivision plan requiring all new dwellings to have an approved automatic sprinkler system installed.

The three (3) proposed dwelling units will be separated by more than 100 feet as determined by the available building windows.

250-41 SOIL EROSION

An Erosion & Sediment Control Plan and Erosion Control Notes are included with the plan set. The proposed development will utilize silt fence or sediment barrier to prevent sediment from leaving the site.

250-42 IDENTIFICATION OF FRESHWATER WETLANDS

Wetlands were delineated by Albert Frick Associates in May 2020. The wetlands, streams, and vernal pool were field located and are shown on the enclosed plans. The Wetlands and Soil Suitability Report is enclosed with this submission

250-43 TRAFFIC CONDITIONS

The proposed right-of way (Estella's Way) alignment is in compliance with the Geometric Design Standards and includes a turnaround for the dead-end street. The roadway is designed to safely circulate all traffic within the subdivision. Physical and environmental site conditions prevent any street connections to adjoining parcels. The anticipated traffic generation for the three (3) proposed single-family lots will not cause unreasonable congestion or unsafe conditions on highways or public roads and the traffic associated with the development shall maintain the existing Level of Service on any public road within 200 feet of any existing or proposed curb cut.

The developer will be responsible to make improvements within Section A and Section C of Blanchard Road Extension, as described in the enclosed *Declaration of Covenants Amending and Replacing Road Maintenance Agreements*. The portion of Section A running northwesterly from the end of the existing pavement will be designed with a gravel surface and width per the Standard for Residential Access greater than fifty (50) VPD. The new private right-of-way (Estella's Way) and the portion of Section C between the end of Section A and Estella's Way will be designed with a gravel surface and width per the Standard for Residential Access equal to or less than fifty (50) VPD.

WAIVERS

Based on the specifics of the project, the Applicant requests the following waivers. The waivers are reiterated in italics for reference with our justification immediately following:

1. *Existing physical features (trees 10" diameter or more)*

The existing 12.41-acre parcel is entirely wooded and the physical features, including stone walls, have been field located, but field locating each tree would be time consuming and cost prohibitive. The area of development and limits of disturbance have been minimized in the proposed subdivision, and the road and buildings windows have been sited to reduce impact to the natural and existing physical features of the site.

2. *Hydro-geologic study (option for Board)*

A hydro-geologic study is not warranted for the three (3) proposed lots on the existing 12.41-acre lot because of the relative low density of the lots and the evidence of passing test pits on each proposed lot.

3. *Well locations*

The proposed lots will be serviced by private wells to be located by the future individual lot owners. The well locations will be determined at the time of construction.

4. *High intensity soil survey by cert. soil scientist*

A high intensity soil survey is not warranted for the three (3) proposed lots on the existing 12.41-acre lot because of the relative low density of the lots and the evidence of passing test pits on each proposed lot.

5. *Location of temp. markers in field*

The temporary markers have not been located in the field because of the limited size of scope of the project. The project location can be readily located from the extents of Blanchard Road Extension, Section C and the existing trails.



6. *Street lighting details*

Street lighting is not proposed. No new utility poles are proposed, and electric is intended to be provided via underground lines and services.

7. *Soil surveys w/# of soil scientist*

A wetlands and soil suitability report has been provided, but a high intensity soil survey is not warranted for the three (3) proposed lots on the existing 12.41-acre lot because of the relative low density of the lots and the evidence of passing test pits on each proposed lot. The waiver request for the high intensity soil survey is provided above.

8. *Septic plan w/ # of prof. site evaluator*

The proposed lots will be serviced by private septic systems to be located by the future individual lot owners. The test pit locations have been provided. The septic designs and locations will be determined at the time of construction.

9. *Geological evals w reg. geologist number*

A wetlands and soil suitability report has been provided, but a geological evaluation is not warranted for the three (3) proposed lots on the existing 12.41-acre lot because of the relative low density of the lots and the evidence of passing test pits on each proposed lot. A waiver request for the hydro-geologic study is provided above.

10. *§ 250-37G Walkways shall be provided along all roads within a proposed subdivision*

A walkway has not been included along the proposed gravel road because of the additional impervious area that would be created and the increase in wetland impacts. The public and private roadways leading to the proposed subdivision do not include walkways for connectivity.

We look forward to meeting with you and the Planning Board at their September 21, 2021 meeting to review the project and gain their approval. We appreciate your assistance with this project. Should you have any questions, please call or contact me at kclark@sitelinespa.com.

Very truly yours,

Kevin P. Clark

Kevin P. Clark, PLS
President

Enclosures

cc: Nathaniel Ross, Stonewood Land, LLC



Attachment A
Application Form & Checklist

A completed copy of the Conservation Subdivision Application and Checklist are enclosed.

A

Application Form & Checklist

SUBDIVISION OF LAND

APPENDIX E

CONSERVATION SUBDIVISION APPLICATION,
SUBMISSION REQUIREMENTS AND CHECKLIST

The information listed below will be required for submissions of preliminary and final applications for Conservation Subdivisions. Please review Section 250 (Subdivision of Land) in the Cumberland Code for complete information on the processes for review.

Prior to submission of plans for Planning Board review, a pre-application meeting with the Town Planner and Code Enforcement Officer is required. The date of this meeting is scheduled for: _____ at _____ a.m./p.m.

A: APPLICATION

Proposed Project Name: _____

Project Address: _____

Accessor's Tax Map and Lot Number(s): _____

Property Owner's Contact Information

Name: _____

Mailing Address: _____

Email Address: _____

Office Phone: _____

Cell Phone: _____

Consultant's Contact Information.

Name: _____

Professional Designation (e.g., P.E., LLA) _____

Mailing Address: _____

Email Address: _____

Office Phone: _____

Cell Phone: _____

Has evidence of right, title or interest in the property been provided?: _____

Has evidence of acting as owner's agent letter been provided? _____

Date of Submission: _____

Gross Site Acreage: _____

Estimated or actual area of wetlands: _____

Estimated Net Residential Acreage: _____

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Proposed number of lots: _____

Proposed Subdivision Name: _____

Proposed Subdivision Address: _____

Will the proposed subdivision be served by:

Check the ones that apply:

Public Water _____

Public Sewer _____

Private Septic _____

Private Wells _____

Submittal Requirements:

Provide all plans and supporting information in electronic format.

Provide 2 full size paper plan sets and supporting information.

Submit review fee as required.

B: BASE INFORMATION/PLAN:

The base information shall be used for the preparation of the plan for the Workshop Meeting with the Planning Board:

The base information must include the following:

- a. Scale: 1" = 10' to 1" = 30'
- b. Vicinity Map
- c. North Arrow
- d. Aerial Photo showing existing vegetation.
- e. Significant natural features (rock formations, ponds, streams, water courses, etc.)
- f. Existing Contours
- g. Approximate location of any existing trails on the subject property and the adjacent properties.

C. SITE CONDITIONS:

Describe in detail the present condition of the subject property, including any water frontage, the general slope and topography of the ground (flat, steep, percent slope, etc., any history of vegetation clearing and timber harvesting activities and whether portions of the site are subject to flooding or ponding, etc.

- 1) Water Frontage:
- 2) Slope and Topography:
- 3) Existing Vegetation:
- 4) Hydrogeologic Features:
- 5) Flood Zone Designation:
- 6) Special Natural Areas:
- 7) Historic Features:

SUBDIVISION OF LAND

D. EXISTING AND PROPOSED ZONING, USES AND STRUCTURES:

Zoning District(s): _____

Current Use: _____ Undeveloped/forested; _____ Residential; _____ Commercial;
_____ Industrial; _____ Public/Civic. OTHER: _____

Is the parcel in a zoning overlay district? If so, specify which one: _____

Is a mixed use (residential and commercial) development proposed? If yes, list number of residential units _____ and non-residential units: _____

E. ACCESS:

Is there a suitable entrance location identified that meets required sight distance or any applicable MDOT regulations? Yes: _____ NO: _____

F. CONNECTIVITY:

Is there an opportunity to connect this subdivision with an adjacent subdivision? If yes, describe: _____

G. AFFORDABILITY:

Will the subdivision include any lots for affordable housing? _____

Is there an opportunity for a Low Impact Development (LID)? _____

H. SCENIC CHARACTER, NATURAL AND HISTORIC FEATURES:

- (i) How will the development be located, designed and landscaped to minimize any visual impacts on the scenic character of the surrounding area:
- (ii) Will structures be visible from the existing roadways or shorelines?

I. PRIMARY CONSERVATION AREAS: (List below and show on plan)

PLANNING BOARD WORKSHOP:

The next step will be a Planning Board Workshop. The following items are required to be submitted:

1. Site Analysis (SA) narrative to include a general description of the property, its site constraints and opportunities, open space potential and development potential.

CUMBERLAND CODE

2. A location map that shows the Subject Property and all abutting properties within 500' (including across roads.) Indicate ownership of all abutting properties on the plan. Show the approximate location of any known trails on the properties shown on this map.
 3. Map SA-1: An Existing Resources and Site Inventory and Analysis Plan to include:
 - Vertical aerial photography of site and surroundings.
 4. Map SA-2
 - Topography with 5' contours.
 - Slopes in excess of 20%
 - Drainage Courses and features (e.g., wetlands, PVPs)
 - Soil types
-

PRELIMINARY PLAN

- A. Preliminary plan location map. The preliminary plan shall be accompanied by a location map drawn at a scale of not over 1,000 feet to the inch to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area. The preliminary plan shall show all the area within 1,000 feet of any property line of the proposed subdivision. Within such area the location map shall show:
 1. All existing subdivisions and approximate tract lines of adjacent parcels together with the names of the record owners of all adjacent parcels of land, those directly abutting or directly across any street adjoining the proposed subdivision.
 2. Locations, widths and names of existing, filed or proposed streets, easements, and building lines pertaining to the proposed subdivision and to the adjacent properties.
 3. The boundaries and designations of zoning districts, parks and other public spaces.
 4. An outline of the proposed subdivision together with its street system and an indication of the future probable street system of the remaining portion of the tract, if the preliminary plan submitted covers only part of the subdivider's entire holding.
1. Preliminary plan maps and information. The preliminary plan shall be submitted in 2 copies of one or more maps or drawings which may be printed or reproduced on paper with all dimensions shown in feet or decimals of a foot, drawn to a scale of one inch equals not more than 100 feet or, for plans describing construction of required improvements, a scale of one inch equals 40 feet; drawings are not to exceed 24 inches by 36 inches. All materials must also be provided in an electronic format. All plans shall be accompanied by the following information:
 1. Proposed subdivision name or identifying title and the name of the municipality.
 2. Name and address of record owner, subdivider and designer of preliminary plan.

SUBDIVISION OF LAND

3. Date of plan submission, true North point and graphic scale.
4. Number of acres within the proposed subdivision, location of property lines, existing easements, buildings, watercourses and other essential existing physical features.
5. The names of all subdivisions immediately adjacent and the names of owners of record of adjacent acreage.
6. The space standard and setback provisions of the Chapter 315, Zoning, applicable to the area to be subdivided and any zoning district boundaries affecting the subdivision.
7. The location and size of any existing or proposed sewers and water mains, culverts, hydrants, and drains on the property to be subdivided. This shall show the connections with existing sewer or water systems. Where public water and/or sewerage is not to be provided, alternative means of water supply and sewage treatment and disposal shall be shown, both horizontally and vertically. If on-site groundwater wells are proposed, the effect of withdrawal of groundwater may be required by the Board as set forth in this chapter.
8. If individual or collective private sewage disposal system(s) is (are) proposed, the location and results of tests to ascertain subsurface soils and groundwater conditions shall be signed and numbered by a licensed site evaluator. If a cluster system or collective private sewage disposal system(s) is (are) proposed, a hydrogeologic investigation shall be submitted meeting the sewage disposal standards as set forth in this chapter. A hydrogeologic investigation may be required by the Board for individual systems as set forth in this chapter.
9. Location, names and present and proposed widths of existing and proposed streets, highways, easements, building lines, alleys, parks and other public open spaces both within and abutting the subdivision. Grades and street profiles of all streets, sidewalks or other public ways proposed by the subdivider shall be shown.
10. Contour lines at intervals of two feet or at such intervals as the Planning Board may require, based on United States Geological Survey datum and referred to mean sea level.
11. A high-intensity soil survey shall be conducted by a certified soil scientist to identify soils within the proposed development in accordance with United States Department of Agriculture Natural Resources Conservation Service National Cooperative Soil Classification. The soil boundaries and names shall be superimposed on a plot plan of the proposed development.

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12. Deed reference and map of survey of tract boundary made and certified by a registered land surveyor, tied into established reference points. Deed restrictions, if any, shall be described.
13. A surface drainage plan or stormwater management plan, with profiles and cross sections drawn by a professional engineer registered in the State of Maine, showing preliminary design of all facilities and conveyances necessary to meet the stormwater management standards as set forth in this chapter.
14. The proposed lot lines with dimensions and suggested locations of buildings.
15. The location of temporary markers adequate to enable the Board to locate readily and appraise the basic layout in the field.
16. All parcels of land proposed to be dedicated to public use and the conditions of such dedication.
17. The location of all natural features or site elements to be preserved.
18. A grading and landscaping plan, including natural features to be preserved.
19. Plans shall bear the seals or numbers of the registered professionals responsible for preparing appropriate sections of the plan. Surveys shall be stamped by registered professional engineers, soil surveys shall bear the numbers of a soil scientist, subsurface sewage disposal plans shall bear the number of the professional site evaluator responsible for those evaluations, geological evaluations shall bear a registered geologist's number and architectural work shall bear the architect's seal.

FINAL PLAN

The final subdivision plan for a major traditional or clustered subdivision shall consist of an electronic submission and two (2) paper copies of all required application materials.

All materials must also be provided in an electronic format.

The final plan shall show:

1. All of the information presented on the preliminary plan and location map and any amendments thereto required by the Board or otherwise added to the plan. Engineering plans submitted shall be final plans on which construction may be based.
2. The name, registration number and seal of the engineer, land surveyor, geologist, soil scientist, architect or planning consultant who prepared the plan.
3. Street names and lines, pedestrian ways, lanes, easements, rights-of-way and areas to be reserved for or dedicated to public use.

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4. The length of all straight lines, the deflection angles, radii, length of curves and central angles of all curves, tangent distance and tangent bearings for each street.
 5. An actual field survey of the boundary lines of the tract, giving complete descriptive data by bearings and distances, made and certified by a licensed land surveyor. The corners of the tract shall be located on the ground and marked by monuments as herein required and shall be referenced as shown on the plan.
 6. Sufficient data acceptable to the municipal officials to determine readily the location, bearing and length of every lot line and boundary line and to reproduce such lines upon the ground. Where practical these should be tied to reference points previously established.
 7. The survey of the outside boundaries of the tract and the computation of the lot lines shall be performed to an accuracy of one foot in 5,000 feet. If requested by the Planning Board, the surveyor shall furnish copies of computation sheets for outside boundaries showing.
 - a. Sketch of traverse lines.
 - b. Closures;
 - c. Adjustments;
 - d. Coordinates; and
 - e. Computation of outside boundaries.
 8. By proper designation, all public open space for which offers of cession are made by the subdivider and those spaces to which the title is reserved by him.
 9. Lots and blocks within the subdivision numbered in accordance with local practice.
 10. Proposed homeowners' covenants and restrictions.
 11. Required MDEP stormwater maintenance documents.
- D.** There shall be submitted to the Board with final plan:
1. Copies of declarations, agreements or other documents showing the manner in which open space or easements are to be held and maintained.
 2. Where conveyance of public open space or easements to the Town is contemplated, a written offer to make such conveyance to the Town and written evidence that the municipal officers are willing to accept such conveyances and are satisfied with the terms and conditions of the proposed conveyance and with the legal sufficiency of the proposed transfer documents. Such written evidence shall not constitute an acceptance by the municipality of any such public open space.
-

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COMPLETION CHECKLIST FOR CONSERVATION SUBDIVISION SUBMISSION REQUIREMENTS

Waivers: Please make a check in the *Waiver Request* column for any requested waivers. Attach a separate sheet citing the Subdivision Ordinance section number, description, and reason for the waiver request.

	Check if provided	Location of information in packet, e.g. plan #, page #	Waiver Request?
General Submissions:			
15 copies of plans and materials. All sheet sized to be 24" x 36"			
1"=100' scale for general plan			
1"=40' scale for construction of required improvements			
Traffic Info?			
Capacity to Serve letters?			
Financial and Technical Capacity (Sec.14)			
Sewer user permits required? Status?			
Deed restrictions, if any, describe on separate sheet			
Cover Sheet:			
Proposed subdivision name			
Name & address of record owner, subdivider, and designer of preliminary plan			
Location Map:			
12. Scale 1"=1000'			
Shows area 1000' from property lines			
All existing subdivisions			
Approximate tract lines of adjacent parcels			
Approximate tract lines of parcels directly across street			
Location of existing & proposed streets, easements, lot lines & bldg. lines of proposed subdivision & adjacent properties.			
Existing Conditions Plan:			
Existing buildings			

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	Check if provided	Location of information in packet, e.g. plan #, page #	Waiver Request?
Watercourses			
Legend			
Wetlands			
Existing physical features (trees 10" diameter or more. Stone walls			
Trail System?			
Subdivision Plan:			
Date of plan submission, true north & graphic scale			
Net residential acreage calculations			
Legend			
Trail (connecting?)			
<i>Widths</i> of existing/proposed streets, easements & bldg. lines			
<i>Names</i> of existing/ proposed streets, easements & bldg. lines			
Boundaries & designations of zoning districts, parks, public spaces			
Outline of proposed subdivision w/ street system			
Future probable street system of remaining portion of tract.	N/A		
Opportunities for Connecting Road(s) (13.2D)			
Space and Setback of district			
Classification of road			
Width of road(s)			
Drainage type (open, closed, mix)			
Type of byway provided (8.4D)	N/A		
Names of adjacent subdivisions			
Names of owners of record of adjacent acreage			
Any zoning district boundaries affecting subdivision			
Location & size of existing or proposed sewers, water mains, culverts, hydrants and drains on property			
Connections w/existing sewer or water systems			
Private water supply shown			
Private septic shown			
Hydro-geologic study			

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	Check if provided	Location of information in packet, e.g. plan #, page #	Waiver Request?
(option for Board)			
Test pit locations			
Well locations			
Signature & lic. # of site evaluator			
Existing streets: location, name(s), widths w/in and abutting			
Proposed streets: location, name(s), widths w/in and abutting			
The above for any highways, easements, bldg. lines, alleys, parks, other open spaces w/in and abutting			
Grades & street profiles of all streets, sidewalks or other public ways proposed			
2' contour lines			
High intensity soil survey by cert. soil scientist			
Soil boundaries & names superimposed on plot plan			
Deed reference & map of survey of tract boundary by reg. land surveyor tied to established reference points			
Surface drainage or stormwater mgmt plan w/ profiles & cross sections by a P.E. showing prelim. design and conveyances			
Proposed lot lines w/ dimensions and suggested bldg. locations.			
Location of temp. markers in field			
All parcels proposed to be dedicated to public use and conditions of such.			
Location of all natural features or site elements to be preserved			
Street lighting details			
Landscaping and grading plan including natural features to be preserved			
Survey stamped by P.E.			
Soil surveys w/# of soil scientist			
Septic plan w/ # of prof. site evaluator			
Geological evals w/ reg. geologists number			
Architect's seal	N/A		

SUBDIVISION OF LAND

	Check if provided	Location of information in packet, e.g. plan #, page #	Waiver Request?
For Rt. One: 75' undisturbed buffer applicable to all buildings, structures, parking areas, drainage facilities and uses.	N/A		
Open Space			
Any part of parcel in a shoreland zone?			
Flood Map Number and rating?			
Stormwater Report			
Rivers, ponds, wetlands			
Historic, archeological features			
Solid waste disposal			
Required Notes on Plan:			
Fire Department notes			
Clearing limits note			
Re: approval limit of 90 days before recording or null p. 10			
Actual field survey of boundary lines w/ monumentation shown			
Assessor's approval of street names and assignment of lot numbers.			
Designation of all open spaces w/ notes on ownership			
Copies of declarations, agreements or other documents showing the manner in which open space or easements are to			
Written offer for any conveyance to the Town of open space or easements along with written evidence that the Council is willing to accept such offer			
Evidence of Outside Agency Approvals			

As per Section 7.2 - REVIEW AND APPROVAL BY OTHER AGENCIES:

E. Where review and approval of any subdivisions or site plan by any other governmental agency is required, such approval shall be submitted to the Planning Board in writing prior to the submission of the Final Plan.

Please list below all outside agency approvals that are required for this subdivision.

- **Maine Department of Environmental Protection:** *List type of permit(s) required (e.g., SLODA, NRPA (tier type?), Maine Construction General Permit, etc.)*

NRPA PBR

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- *US Army Corps of Engineers* None
- **Maine Department of Transportation:** *List type of permit(s) required.* None
- *Maine Department of Inland Fisheries and Wildlife* None
- **Cumberland County Soils and Water Conservation Service:** Required by Town. None

Other: (Please List): _____

Attachment B
Right, Title, & Interest

B

A copy of a Letter from the Applicant's Attorney, Applicant's Source Deed and relevant documents are enclosed .

Right, Title, & Interest

August 4, 2021

Ms. Carla Nixon
Town Planner
Town of Cumberland
290 Tuttle Road
Cumberland, Maine 04021

RE: Ross Estates Subdivision Application

Dear Carla,

Kevin Clark of Sitelines asked me to review and address Stonewood Land, LLC's rights with respect to the Blanchard Road Extension. As explained below, in my opinion Stonewood Land has the right to use the Blanchard Road Extension to access its property and, further, to improve the road at its expense to meet the Town of Cumberland's requirements. For your convenience, I have attached copies of the documents referenced in this letter.

Stonewood Land, LLC's Property and Easement Rights

Stonewood Land, LLC's purchased the property subject to the application from Robert and Brenda Paimpiano on June 22, 2020. (EX 1; BK 36884, PG 28). The property is benefited by the following express easement over the Blanchard Road Extension contained in that deed:

Together with a right-of-way easement to and from the lot herein conveyed in common with the Grantors, their heirs and assigns, and others for the purpose of ingress and egress, and the installation, repair and maintenance of utilities, either above ground or underground, in, on, over, and across a 50-foot private right-of-way known as Blanchard Road Extension, to and from the Town owned portion of Blanchard Road Extension. The easement and property herein conveyed are subject to the rights, obligations, terms and conditions of a certain Declaration of Covenants Amending and Replacing Road Maintenance Agreements With Amended Road Maintenance Agreement dated November 18, 2005 and recorded in Book 23480 Pages 223-246 of said Cumberland County Registry which run with, benefit and burden the land and easement herein conveyed, and to By-laws of the Blanchard Road Extension Road Association, Inc. or its successor as the same may now exist or hereafter be amended. Meaning and intending to convey and describe an easement over Section A, over a small portion of Section B, and over Section C so-called of the private portion of Blanchard Road Extension as described in Exhibit A to the above referenced Amended Road Maintenance Agreement, so that the Grantee herein shall have a continuous 50 foot right of way easement leading from the Town owned portion of Blanchard Road Extension to the property herein conveyed.

Stonewood's rights and obligations with respect to the easement Blanchard Road Extension are further set out in the Maintenance Agreement attached to the Declaration of Covenants Amending and Replacing Road Maintenance Agreement. (EX 2; BK 23480, PG 223) In addition to the right to access the Stonewood property, section 16 of the Maintenance Agreement states that it shall not prejudice the rights of the Piampianos, their successors and assigns to improve the road to Town standards at their own cost. As the Piampianos' successor in title, Stonewood holds the right to make those improvements in addition to its right of access.

Fee Ownership Blanchard Road Extension

The Blanchard Road Extension is comprised of three segments. (EX 3; Sketch) Section A extends from the paved road to just before the fork in the road where it splits into Sections B and C. Section C extends to the Stonewood property and is also referred to as the Moore Farm Extension. Prior to 1998, the Piampianos owned the entirety of the Blanchard Road Extension, subject to the rights of way granted to others who owned property abutting the road.

Sections A and B

In 1998, the Piampianos conveyed the fee interest in Section A to Chase Custom Homes & Finance. (EX 4; BK 13976, PG 274) In the deed to Chase, Piampianos reserved a right of way over Section A along with the right to improve the road. In 2013, the Piampianos conveyed Section B to the Blanchard Road Extension Association. (EX 5; BK 30446, PG 70). When they did so, they reserved the right to use the portion of Section B between Sections A and C, including the right to upgrade that portion of the road to Town standards.

In November 2005, the Piampianos and the property owners abutting Sections B and C agreed to the Declaration of Covenants Amending and Replacing Road Maintenance Agreement (EX 2; BK 23480, PG 223). At the same time, Chase granted a public easement over Section A to the Town of Cumberland subject to certain maintenance obligations which the Town accepted (EX 6; BK 23480, PG 247) and the Piampianos granted a public easement over the portion of Section B that forms a "Y" in the road to the Town of Cumberland subject to certain maintenance obligations which the Town accepted. (EX 7; BK 23480, PG 252).

Section C

Simultaneously with the Piampianos' conveyance of the property to Stonewood Land, they conveyed their interest in Section C of the Blanchard Road Extension to Stonewood Builders, Inc., an affiliate of Stonewood Land¹ (EX 18; BK 36884, PG 31). In that deed, the Piampianos expressly conveyed their right to improve Section A and that portion of Section B that lies between Sections A and C. Those rights include, but are not limited to, the rights reserved by the Piampianos in the deeds to Sections A and B.

¹ Nathaniel Ross is the sole shareholder of Stonewood Land, Inc. as well as being the sole member of Stonewood Land, LLC.

Conclusion

For the reasons outlined above, Stonewood Land has sufficient right, title and interest in the Blanchard Road Extension to support its pending subdivision application for Ross Estates.

If you have any questions regarding my analysis, please feel free to contact me.

Thank you.

Sincerely,



David C. Pierson

Enclosed

Cc:

Kevin Clark, PLS *via email*

Nate Ross *via email*

MAINE REAL ESTATE TAX-Paid

WARRANTY DEED
Statutory Short Form
 DLN: 1002040100486

ROBERT J. PIAMPIANO and BRENDA T. PIAMPIANO, husband and wife, with a mailing address of 3 High Street, Brunswick, Maine 04011, hereinafter the "Grantors," for consideration paid, **GRANT to Stonewood Land, LLC** with a mailing address of 8 Roberts Street, Falmouth, Maine 04105, hereinafter the "Grantee", its heirs, successors, and assigns, with **Warranty Covenants**, a certain parcel of land, with no buildings thereon, situated in the Town of Cumberland, County of Cumberland, and State of Maine, together with certain easements, covenants, and restrictions appurtenant thereto, which are more particularly described in Exhibit A, which is attached hereto and made a part hereof.

The Warranty Covenants described above specifically do not include any covenant by the Grantors concerning the status of this parcel, or any combination of this parcel or any portion thereof with another parcel, as a buildable lot under any former, current, or future standards or ordinances of the Town of Cumberland.

The parcel herein conveyed does not create an additional separate lot for subdivision purposes, since there has been no division of this lot within the last 5 years and the entire lot is being conveyed.

IN WITNESS WHEREOF, the said **ROBERT J. PIAMPIANO** and **BRENDA T. PIAMPIANO** have signed this instrument this 22nd day of June, 2012.

Kimberly Doyon
 Witness

Robert J. Piampiano
 Robert J. Piampiano

Kimberly Doyon
 Witness

Brenda T. Piampiano
 Brenda T. Piampiano

STATE OF MAINE
 COUNTY OF CUMBERLAND

June 22, 2020

The foregoing instrument was acknowledged before me this date by Brenda T. Piampiano.

[Signature]
 Notary Public/Attorney-at-Law
 Print Name: TIM KEENE

TIM KEENE
 Notary Public, State of Maine
 My Commission Expires July 26, 2022

Exhibit A- Robert and Brenda Piampiano to Stonewood Land, LLC

A certain lot or parcel of land situated on the southerly side of a 50-foot wide private right-of-way easement leading westerly from the Town owned portion of Blanchard Road Extension in the Town of Cumberland, County of Cumberland and State of Maine, being more particularly bounded and described as follows:

Beginning at a 5/8 inch iron rebar set with cap # 1328 in the Gray-Cumberland town line, said rebar marking the southwest corner of land conveyed by these Grantors to Briggs and Lowery by deed dated May 8, 2012, recorded in Book 29571 Page 17 in the Cumberland County Registry of Deeds, said point of beginning being at the northwesterly corner of the property herein described;

Thence proceeding in a counterclockwise direction S 34°-47'-12" W following the Gray-Cumberland town line a distance of 713.53 feet to a 5/8 inch iron rebar set with cap # 1328;

Thence S 53°-34'-18" E along land now or formerly of Chase Custom Homes and an intermittent stone wall a distance of 1,174.90 feet to a 5/8 inch rebar with the remains of a cap set in a stone wall;

Thence N 38°-26'-14" E along land now or formerly of Jones a distance of 96.49 feet to a 5/8 inch capped iron rebar;

Thence N 30°-46'-36" W along land now or formerly of Yovino a distance of 267.40 feet to a 5/8 inch capped iron rebar;

Thence N 38°-26'-14" E along land of said Yovino a distance of 386.86 feet to a 5/8 inch capped iron rebar located on the southerly side of Section C, so called, of the 50-foot wide private right-of-way easement leading westerly from the Town owned portion of Blanchard Road Extension.

Thence southwesterly and turning northwesterly along a curve to the right with a radius of 290.00 feet and a central angle of 42°-17'-42", by and along the southerly sideline of said Section C, an arc distance of 214.07 feet to a 5/8 inch iron rebar set with cap # 2080 located in the southerly sideline of said Section C of the private right of way easement leading westerly from the Town owned portion of Blanchard Road Extension.

Thence N 79°-57'-12" W along land now or formerly of Brenda T. Piampiano a distance of 612.23 feet to a 5/8 inch iron rebar set with cap # 1328;

Thence N 34°-47'-12" E along land now or formerly of Brenda T. Piampiano a distance of 400 feet to a 5/8 inch iron rebar set with cap # 2080;

Thence N 55°-12'-48" W along land of Briggs and Lowery a distance of 196.72 feet to the 5/8 inch iron rebar set with cap # 1328 at the point of beginning.

This description is based on a "Standard Boundary Survey of Land of Robert Piampiano" by Sebago Technics dated June 11, 1997, recorded in Plan Book 201 page 104 in said Cumberland County Registry. This description has been updated to reflect current land owners and the sale of the above referenced outparcel to Briggs and Lowery by the Grantors herein. All bearings herein are based on Grid North- NAD 83- Maine West Zone. Containing 12.4 acres, more or less.

Meaning and intending to convey and describe a portion of a certain lot or parcel of land conveyed by Robert J. Piampiano to Robert J. Piampiano and Brenda T. Piampiano by deed dated July 3, 2008, recorded in Book 19717 Page 258 in said Cumberland County Registry, less and except a parcel of land of 4 acres more or less conveyed by these Grantors to Briggs and Lowery by deed dated May 8, 2012, recorded in Book 29571 Page 17 in said Cumberland County Registry.

Together with a right-of-way easement to and from the lot herein conveyed in common with the Grantors, their heirs and assigns, and others for the purpose of ingress and egress, and the installation, repair and maintenance of utilities, either above ground or underground, in, on, over, and across a 50-foot private right-of-way known as Blanchard Road Extension, to and from the Town owned portion of Blanchard Road Extension. The easement and property herein conveyed are subject to the rights, obligations, terms and conditions of a certain Declaration of Covenants Amending and Replacing Road Maintenance Agreements With Amended Road Maintenance Agreement dated November 18, 2005 and recorded in Book 23480 Pages 223-246 of said Cumberland County Registry which run with, benefit and burden the land and easement herein conveyed, and to By-laws of the Blanchard Road Extension Road Association, Inc. or its successor as the same may now exist or hereafter be amended. Meaning and intending to convey and describe an easement over Section A, over a small portion of Section B, and over Section C so-called of the private portion of Blanchard Road Extension as described in Exhibit A to the above referenced Amended Road Maintenance Agreement, so that the Grantee herein shall have a continuous 50 foot right of way easement leading from the Town owned portion of Blanchard Road Extension to the property herein conveyed.

Also conveying rights and restrictions, including a view easement, in common with the Grantors, their heirs and assigns and others, with the right to enforce the same, as set forth in a deed to Judith B. Kane dated July 18, 1997 and recorded in Book 13210 page 161 of said Cumberland County Registry, which property is now owned by Friedman.

**DECLARATION OF COVENANTS
AMENDING AND REPLACING ROAD MAINTENANCE AGREEMENTS**

The following Declaration of Covenants Amending and Replacing Road Maintenance Agreements are entered into by and between the parties signatory below:

WHEREAS:

1. Certain Road Maintenance Agreements identified in Paragraph A. below run with the land and affect the interests of Robert J. Piampiano, Brenda T. Piampiano, Bruce S. Wildes and Nancy J. Wildes, Beatrice Kalinich and Jeffrey C. Kalinich, Paul D. Friedman and Laura Friedman, Suzanne L. McCormack, Suzanne L. McCormack, as Trustee of the Suzanne L. McCormack Trust dated February 18, 2004, HW Builders, LLC, and Scott S. Kibler, as owners and successors in right, title and interest to the original parties to said agreements;

2. The parties listed in Paragraph 1 of this Declaration are all the current owners of any property which is subject to any of the Agreements listed in Paragraph A below;

3. Raymond and Nina Geissler are the owners of property described in a deed dated February 25, 1992, recorded in Book 9922 Page 90 of the Cumberland County Registry of Deeds, which property abuts, and is accessed by, a portion of the roads described in the Agreements listed in Paragraph A below, and desire to have their property benefit and be burdened by the Amended Road Maintenance Agreement referenced herein;

4. The parties hereto intend and desire to amend and replace the Road Maintenance Agreements identified in Paragraph A. below, and to have the Amended Road Maintenance Agreement, attached hereto as Exhibit 1, be appurtenant to and run with the land of the respective owners and be binding upon themselves, their heirs, devisees, donees, successors, and assigns;

NOW THEREFORE, in consideration of the mutual benefits and promises set forth herein, the parties COVENANT AND AGREE as follows:

A. Existing Agreements Affected. The following existing Road Maintenance Agreements are affected and amended and replaced by this Declaration:

- (1) Brenda T. and Robert J. Piampiano- Judith D. Kane, dated July 18, 1997, recorded in Book 13610 Page 348 in the Cumberland County Registry of Deeds. (Property now owned by Paul D. Friedman and Laura Friedman.)
- (2) Robert J. Piampiano and Brenda T. Piampiano-Kermit E. McCormack and Suzanne L. McCormack, as Trustees of the McCormack Family Trust as of July 1, 1996, dated December 30, 1999, recorded in Book 15252 Page 205 in said Registry, which agreement also affects parcels of land subsequently transferred to Suzanne L. McCormack as Trustee of the Suzanne L. McCormack Declaration of Trust dated February 18, 2004, and to HW Builders, LLC by deed dated July 12, 2005, recorded in Book 22875, Page 181 of said Registry.
- (3) Brenda T. and Robert J. Piampiano- Coleman Construction, Inc., dated May 29, 1998, recorded in Book 13934 Page 105 of said Registry. (Property now owned by Beatrice Kalinich and Jeffrey C. Kalinich.)
- (4) Brenda T. Piampiano- Mathew and Karen Pieper, pursuant to deed dated June 16, 1998, recorded in Book 14099 Page 065 of said Registry. (Property now owned by Bruce S. Wildes and Nancy J. Wildes.)
- (5) Robert J. Piampiano, by Power of Attorney for Sarah E. Piampiano- Scott S. Kibler, dated October 20, 2003, recorded in Book 20457 Page 155 of said Registry.

B. Amendments. The parties hereto covenant and agree that the Amended Road Maintenance Agreement attached hereto as Exhibit 1 and incorporated herein shall amend and replace the road maintenance agreements specified above, shall hereby be binding upon the parties, their heirs, successors, devisees, donees and assigns, and shall be appurtenant to, and run with, and be a burden upon, and a benefit to,

the respective property of each party, and upon any additions thereto or divisions thereof.

IN WITNESS WHEREOF, the undersigned parties have caused this instrument to be executed this 18 day of November, 2005.

Naigyn L. Pignatta
Witness

[Signature]
Witness

Robert Pignatta
Witness

Robert Pignatta
Witness

Brenda T. Piampiano
Witness

Brenda T. Piampiano
Witness

Brenda T. Piampiano
Witness

Brenda T. Piampiano
Witness

Robert Pignatta
Witness

Robert Pignatta
Witness

Robert J. Piampiano
Robert J. Piampiano

Brenda T. Piampiano 10/27/05
Brenda T. Piampiano

Bruce S. Wildes
Bruce S. Wildes

Nancy J. Wildes
Nancy J. Wildes

Beatrice Kalinich 10/23/05
Beatrice Kalinich

Jeffrey C. Kalinich 10/23/05
Jeffrey C. Kalinich

Paul D. Friedman 10/23/05
Paul D. Friedman

Laura Friedman 10.23.05
Laura Friedman

Suzanne L. McCormack 11/9/05
Suzanne L. McCormack,
Individually and In Her
Capacity as Trustee - Suzanne L.
McCormack Trust

HW Builders, LLC

By: [Signature]

Its: Manager
Duly Authorized

Robert J. Piampiano
Witness

Scott S. Kibler
Scott S. Kibler

Robert J. Piampiano
Witness

Nina Geissler
Nina Geissler

Robert J. Piampiano
Witness

Nina Geissler, By Power of Attorney for Raymond Geissler
Nina Geissler, By Power of Attorney for Raymond Geissler

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/25/05

Personally appeared the above-named Robert J. Piampiano and acknowledged the foregoing instrument to be his free act and deed.

MICHELLE L. DONOVAN
Notary Public, Maine
My Commission Expires November 18, 2011

Michelle L. Donovan
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/27/05

Personally appeared the above-named Brenda T. Piampiano and acknowledged the foregoing instrument to be her free act and deed.

Brenda T. Piampiano 10/27/05
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/8/05

Personally appeared the above-named Bruce S. Wildes and acknowledged the foregoing instrument to be his free act and deed.

Bruce S. Wildes
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/8/05

Personally appeared the above-named Nancy J. Wildes and
acknowledged the foregoing instrument to be her free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: OCT 23, 2005


Personally appeared the above-named Beatrice Kalinich and
acknowledged the foregoing instrument to be her free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: Oct 23, 2005

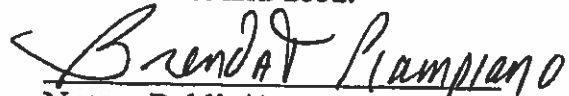
Personally appeared the above-named Jeffrey C. Kalinich and
acknowledged the foregoing instrument to be his free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: October 23, 2005

Personally appeared the above-named Paul D. Friedman and
acknowledged the foregoing instrument to be his free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: October 23, 2005

Personally appeared the above-named Laura Friedman and acknowledged the foregoing instrument to be her free act and deed.

Brenda T. Rianpiano
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/9/05

Personally appeared the above-named Suzanne L. McCormack individually, and in her capacity as Trustee of the Suzanne L. McCormack Trust, and acknowledged the foregoing instrument to be her free act and deed.

Robert J. Pappas
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/21/05

Personally appeared Daniel H. White and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said HW Builders, LLC.

Jill H. Joselyn
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/25/05

JILL H. JOSSELYN
Notary Public, Maine
My Commission Expires
May 28, 2006

Personally appeared the above-named Scott S. Kibler and acknowledged the foregoing instrument to be his free act and deed.

Michelle L. Donovan
Notary Public/Attorney at Law

MICHELLE L. DONOVAN
Notary Public, Maine
My Commission Expires November 18, 2011

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/18/05

Personally appeared the above-named Nina Geissler and
acknowledged the foregoing instrument to be her free act and deed.



Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/18/05

Raymond

Personally appeared the above-named ~~Nina~~ Geissler and
acknowledged the foregoing instrument as attorney in fact on behalf of
~~Raymond Geissler~~. To be his free act and deed.


Notary Public./Attorney at Law

RJP;10/16/05

**Exhibit 1 to Declaration
AMENDED ROAD MAINTENANCE AGREEMENT**

THIS AGREEMENT is made on this 18 day of November 2005 by and between Robert J. Piampiano and Brenda T. Piampiano, and Bruce S. Wildes and Nancy J. Wildes, Beatrice Kalinich and Jeffrey C. Kalinich, Paul D. Friedman and Laura Friedman, Suzanne L. McCormack, Suzanne L. McCormack, as Trustee of the Suzanne L. McCormack Trust dated February 18, 2004, HW Builders, LLC, Scott S. Kibler, Raymond Geissler and Nina Geissler;

WHEREAS:

1. Robert J. Piampiano and Brenda T. Piampiano presently own or have rights to use and convey use and access to a certain Fifty (50') foot private Right of Way, consisting of three sections, described in Exhibit A attached. Sections A and B are generally known and described as Blanchard Road Extension. Section C is generally known as Moore Farm Extension.

2. A portion of this Right of Way, Section A as described in Exhibit A, is utilized by all parties to this agreement, and others, for ingress, egress, utilities, and otherwise for access to property owned by each party;

3. A further portion of this Right of Way, Section B as described in Exhibit A, is utilized by Robert J. Piampiano and Brenda T. Piampiano, Bruce S. Wildes and Nancy J. Wildes, Beatrice Kalinich and Jeffrey C. Kalinich, Paul D. Friedman and Laura Friedman, and Suzanne L. McCormack, Suzanne L. McCormack, as Trustee of the Suzanne L. McCormack Trust dated February 18, 2004, HW Builders, LLC, and others, for ingress, egress, utilities, and otherwise for access to property owned by each party;

4. A further portion of this Right of Way, Section C as described in Exhibit A, is utilized by Robert J. Piampiano and Brenda T. Piampiano, and Scott S. Kibler, and others, for ingress, egress,

utilities, and otherwise for access to property owned by each party;

5. It is the desire of all Owners of parcels abutting or using all three sections of said Right of Way to provide for the cost of maintenance, repair, sanding, salting and snowplowing of the common Right of Way, if and to the extent that the Town of Cumberland does not provide such services, and to amend exiting road maintenance agreements regarding the same;

NOW THEREFORE, THE PARTIES, IN CONSIDERATION OF THE MUTUAL PROMISES AND COVENANTS EXCHANGED HEREIN, COVENANT AND AGREE AS FOLLOWS;

SECTION A OBLIGATIONS

6. With respect to Section A of the Right of Way as described herein, each party to this agreement is responsible for an equal share of the costs of maintenance, repair, sanding, salting, and snowplowing, or any other costs reasonably needed in common to maintain access to the lots served by this section, notwithstanding that this section may extend beyond the boundaries of each respective owner's property, it being the specific intent of the parties that the costs for this entire section be shared equally. If an owner transfers all or a portion of his or her property, thereby creating additional parcels served by this Section, then additional shares shall be created which shares shall also pay such costs equally.

SECTION B OBLIGATIONS

7. With respect to Section B of the Right of Way as described herein, each owner of property abutting or accessed by this Section (presently Robert J. Piampiano and Brenda T. Piampiano, Bruce S. Wildes and Nancy J. Wildes, Beatrice Kalinich and Jeffrey C. Kalinich, Paul D. Friedman and Laura Friedman, Suzanne L. McCormack, Suzanne L. McCormack as Trustee of the Suzanne L. McCormack Trust dated February 18, 2004, and HW Builders, LLC,

shall share the costs of maintenance, repair, sanding, salting, and snowplowing, and any other costs reasonably needed in common to maintain access to the lots served by this Section, as follows:

(a) Any owner of property presently owned by Beatrice Kalinich and Jeffrey C. Kalinich and described in a deed dated March 14, 2000 and recorded in Book 16172 Page 143 of the Cumberland County Registry of Deeds, or presently owned by Suzanne L. McCormack, or property owned by Suzanne L. McCormack as Trustee of the Suzanne L. McCormack Trust dated February 18, 2004, shall be responsible for and pay One (1) share;

(b) Any owner of property presently owned by Bruce S. Wildes and Nancy J. Wildes and described in a deed dated December 9, 1998 and recorded in Book 14375 Page 262 of said Registry, or property presently owned by Paul D. Friedman and Laura Friedman described in a deed dated June 30, 2004 and recorded in Book 21492 Page 304 of said Registry shall each be responsible for and pay One and One-Half (1.5) shares.

(c.) Any owner of property presently owned by Robert J. Piampiano, being a portion of property described in a deed dated May 27, 1997, and recorded in Book 13097 Page 257 of said Registry, and any property owned by HW Builders, LLC described in a deed dated July 12, 2005 and recorded in Book 22875 Page 181 of said Registry, shall be responsible for and pay for Two (2) shares.

8. Assessment of shares under paragraph 7 above is subject to adjustment if, after the date of this Agreement, any of the following circumstances occur:

(a) If a portion of property presently owned by any party is transferred, thereby creating additional parcels served by this Section, then additional shares equal to the number of shares assessed to such owner before such transfer shall be created and shall be the responsibility of the new owner, except that if any portion of such additional parcel lies north of the southwest corner of property presently owned by Wildes' referenced

above, then Two (2) additional shares shall be created and be the responsibility of the new owner.

(b) If any party to this Agreement, without sale or transfer of property, locates or constructs any new building to be used as a residence, or for business or commercial purposes, on property located north of the southwest corner of property presently owned by Wildes' referenced above, then the owner of such property shall pay Two (2) shares.

(c) If the owner of any property subject to this Agreement, without sale or transfer of property, uses such property for logging, farming, tree farming, or any other similar activity which is likely to increase such owner's use of Section B during all or any part of any year, then such owner shall pay Two (2) shares for the year in which such activities are conducted.

SECTION C OBLIGATIONS

9. With respect to Section C of the Right of Way as described herein, each owner of property accessed by this section (presently Brenda Piampiano, Robert Piampiano and Scott S. Kibler) is responsible for an equal share of the costs of maintenance, repair, sanding, salting, and snowplowing, or any other costs reasonably needed in common to maintain access to the lots served by this section, notwithstanding that this section may extend beyond the boundaries of each respective owner's property, it being the specific intent of the parties that the costs for this entire section be shared equally. If an owner transfers all or a portion of his or her property, thereby creating additional parcels served by this section, then additional shares shall be created which shares shall also pay such costs equally

GENERAL OBLIGATIONS APPLICABLE TO ALL PARTIES AND ALL SECTIONS

10. For purposes of this agreement, any lot or parcel which is taxed as a separate lot by the Town of Cumberland shall be treated as a separate parcel of land with separate owners for purposes of

assessing shares under this agreement, whether or not such parcel is owned by a party owning other lots subject to this agreement, and whether or not such lots are contiguous.

11. In the event that any damage to any section of the Right of Way occurs as a result of construction or other activity being done on the property of an Owner, such Owner alone shall be responsible for returning the Right of Way to a reasonable, usable condition equal to or better than the condition of the Right of Way prior to the date of such activity. The Owner incurring such costs and expense shall be solely responsible for any such costs and expenses and shall defend, indemnify, and hold the other Owners harmless from any actions arising out of such activities.

12. In the event that any Owner incurs costs or expenses for extension of, or improvements to, the Right of Way beyond routine maintenance, repair, sanding, salting, and snowplowing provided for in this Agreement, without the prior written consent of the other Owners, the party incurring such costs and expenses shall be solely responsible for any such costs and expenses and shall defend, indemnify and hold the other Owners harmless for any actions arising therefrom, including any liens and attachments.

13. Assessments shall be made at least annually, but may be made semi-annually, and may be made in advance. If any amount due and owing under this agreement is not paid within thirty (30) days after such cost is incurred and assessed, the defaulting Owner shall be responsible for interest on the amount in default at the rate of 10% per annum together with all costs of collection, including reasonable attorney's fees.

14. In the event that any party to this Agreement does not pay its obligations under this Agreement within sixty (60) days of when the same are due, the unpaid amounts, together with interests and costs of collection, including reasonable attorney's fees, shall constitute a lien on the property of the delinquent owner, which lien may be perfected by recording a Notice of Lien in the Cumberland County Registry of Deeds without further authorization of the delinquent owner and without court order. The lien provided for herein may be foreclosed in the same manner as a mortgage pursuant

to the provisions of Title 14 M.R.S.A. § 6321 et seq.

15. The parties to this Agreement, together with the other owners whose property is accessed by any section of this Right of Way, shall form a road association whose bylaws shall not be inconsistent with this Agreement or the Declaration, which association shall take responsibility for maintenance, repair, sanding, salting and snowplowing, or other costs reasonably needed in common to maintain access to the lots served by the Right of Way, with the authority to arrange for and procure such services or materials as are necessary for this purpose and to make such assessments as are necessary to pay for the same. Both the Association and any party to this Agreement, their heirs, successors, devisees, donees and assigns, including subsequent owners, shall have the right to enforce the terms of this Agreement.

16. Nothing in this Agreement shall serve to prejudice or extinguish the rights, as allowed by law, if any, of Robert J. Piampiano or Brenda T. Piampiano, their heirs, successors, devisees, donees, and assigns, to (a) extend or improve all or any portion of the Right of Way to town standards (subject to the condition that no owner or party shall be compelled to contribute toward the cost of paving the Right of Way, or toward any increased cost of maintaining or repairing any pavement installed on the right of Way) and to apply for dedication and acceptance of said Right of Way or any portion thereof by the Town of Cumberland, all at their own cost and expense, or; (b) convey any fee, easement, or other interest in the Right of Way described herein to others, subject to the rights of any other party to this agreement which have heretofore been conveyed.

17. Any party to this agreement, their heirs, successors, devisees, donees and assigns, including subsequent owners, reserve such rights, if any, to object to, or otherwise contest, as allowed by law, any action by Robert J. Piampiano or Brenda T. Piampiano, their heirs, successors, devisees, donees, and assigns, or any other party, to extend or improve all or any portion of the right of Way to Town or other standards, and to apply for dedication and acceptance of said right of way or any portion thereof by the Town or Cumberland, or; (b) convey any fee, easement, or other interest in the right of Way described herein, subject to the rights of any other party to this

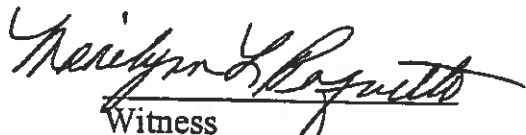
agreement which have heretofore been conveyed.

18. Nothing in this agreement shall waive or prejudice the rights or any party or parties to exercise any rights pursuant to Title 23 M.R.S.A. § 3101 et seq. or any other applicable statute, with respect to maintenance and repairs of a Private Way, and no provision of this agreement shall be interpreted in a manner which is inconsistent with, or limits rights or duties under, these statutory provisions.

19. No owner or party shall be compelled to contribute toward the cost of paving all, or any portion of, Section A, B, or C of the Right of Way, or the increased cost of maintaining or repairing any pavement installed on Section A, B, or C of the Right of Way without such owner's or party's consent.

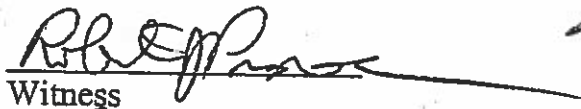
20.. This Agreement shall be binding upon all owners of parcels of land described herein, their heirs, successors, devisees, donees and assigns, including subsequent owners, and shall be appurtenant to and run with the land of each of the parties to this agreement.

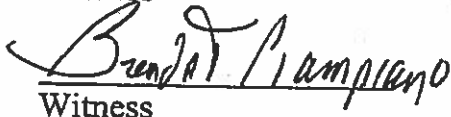
IN WITNESS WHEREOF, the undersigned parties have caused this instrument to be executed this 16 day of November, 2005


Witness


Witness

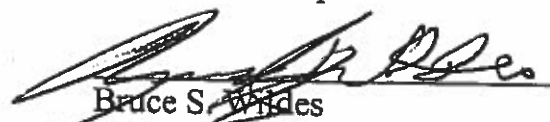

Witness


Witness


Witness


Robert J. Piampiano

 10/27/05
Brenda T. Piampiano


Bruce S. Wildes


Nancy J. Wildes

 10/23/05
Beatrice Kalinich

Brenda T. Piampiano
Witness

Brenda T. Piampiano
Witness

Brenda T. Piampiano
Witness

Robert J. Piampiano
Witness

Robert J. Piampiano
Witness

Robert J. Piampiano
Witness

Robert J. Piampiano
Witness

Robert J. Piampiano
Witness

Jeffrey C. Kalinich 10/23/05
Jeffrey C. Kalinich

Paul D. Friedman 10/23/05
Paul D. Friedman

Laura Friedman 10.23.05
Laura Friedman

Suzanne L. McCormack 11/9/05
Suzanne L. McCormack,
Individually and In Her
Capacity as Trustee

HW Builders, LLC

By: [Signature]

Its: Manager
Duly Authorized

Scott S. Kibler
Scott S. Kibler

Nina Geissler
Nina Geissler

Nina Geissler, By Power of Attorney for Raymond Geissler

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/25/05


Personally appeared the above-named Robert J. Piampiano and
acknowledged the foregoing instrument to be his free act and deed.

Michelle L. Donovan
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/27/05


Personally appeared the above-named Brenda T. Piampiano and
acknowledged the foregoing instrument to be her free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/8/05

Personally appeared the above-named Bruce S. Wildes and
acknowledged the foregoing instrument to be his free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/8/05

Personally appeared the above-named Nancy J. Wildes and
acknowledged the foregoing instrument to be her free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: Oct 23, 2005

Personally appeared the above-named Beatrice Kalinich and
acknowledged the foregoing instrument to be her free act and deed.


Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: *October 23, 2005*

Personally appeared the above-named Jeffrey C. Kalinich and
acknowledged the foregoing instrument to be his free act and deed.

Brenda T. Campiano
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: *October 23, 2005*

Personally appeared the above-named Paul D. Friedman and
acknowledged the foregoing instrument to be his free act and deed.

Brenda T. Campiano
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: *October 23, 2005*

Personally appeared the above-named Laura Friedman and
acknowledged the foregoing instrument to be her free act and deed.

Brenda T. Campiano
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: *11/9/05*

Personally appeared the above-named Suzanne L. McCormack
individually, and in her capacity as Trustee of the Suzanne L. McCormack
Trust, and acknowledged the foregoing instrument to be her free act and
deed.

Robert J. [Signature]
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/21/05

Personally appeared Daniel H. White and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said HW Builders, LLC.

Julie H. Josselyn
Notary Public/Attorney at Law
My Commission Expires May 28, 2006

STATE OF MAINE
CUMBERLAND, SS.

Date: 10/25/05

Personally appeared the above-named Scott S. Kibler and acknowledged the foregoing instrument to be his free act and deed.

MICHELLE L. DONOVAN
Notary Public, Maine
My Commission Expires November 18, 2011

Michelle L. Donovan
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/18/05

Personally appeared the above-named Nina Geissler and acknowledged the foregoing instrument to be her free act and deed.

Robert J. Rogers
Notary Public/Attorney at Law

STATE OF MAINE
CUMBERLAND, SS.

Date: 11/16/05

Personally appeared the above-named Raymond ~~Nina~~ Geissler and acknowledged the foregoing instrument as attorney in fact on behalf of Raymond Geissler to be his free act and deed.

Robert J. Rogers
Notary Public/Attorney at Law

RJP;10/16/05

EXHIBIT A TO AMENDED ROAD MAINTENANCE AGREEMENT

DESCRIPTION OF RIGHT OF WAY

The Right of Way which is subject to this Road Maintenance Agreement consists of three sections, Section A, Section B and Section C, which are bounded and described as follows:

Section A

Beginning at the northeast corner of the unaccepted portion of Blanchard Road Extension where this point meets the end of the paved portion of Blanchard Road Extension, said beginning point lying on a course N 44° 47' 29" W a distance of 104.57 feet from a four inch (4") square granite monument set in the ground;

Thence proceeding N 44° 47' 29" W a distance of 272.27 feet to the beginning point of a curve;

Thence proceeding by a curve to the left having a radius of 2050.0 feet and a central angle of 5° 14' 54" an arc distance of 187.78 feet to a point;

Thence proceeding N 50° 02' 23" W a distance of 410.77 feet to a point;

Thence proceeding S 37° 14' 44" W a distance of 50.06 feet to a one and one-quarter (1 ¼) inch iron pipe nine (9) inches high and marking the northeast corner of a lot consisting of 3.11 acres conveyed by deed of even date from Sarah E. Piampiano to Scott S. Kibler;

Thence proceeding S 50° 02' 23" E a distance of 207.11 feet to a point;

Thence proceeding S 50° 02' 23" E a distance of 201.29 feet to a point;

Thence proceeding by a curve to the right having a radius of 2000.00 feet and a central angle of 5° 14' 54" an arc distance of 183.20 feet to a point;

Thence proceeding S 44° 47' 29" E a distance of 167.70 feet to a point marking the southwesterly end of the Town accepted paved portion of Blanchard Road Extension;

Thence proceeding northeasterly across Blanchard Road Extension to the point of beginning, containing .87 acres more or less. The above description is based upon a Plan entitled "Amended Subdivision Plan of Stonegate Estates for John Chase," by Sebago Technics, Inc., dated 11/2/99 to which reference is made for a more particular description.

Bearings herein are based on Grid North – NAD 83 Maine West Zone.

Section B

Beginning on the northeasterly sideline of the Right of Way at a point marking the northeasterly terminus of Section A described above, then proceeding along the sideline of the Right of Way as follows:

Along land of Kalinich, following a curve to the right, having a radius of 125.00 feet, a delta angle of $49^{\circ} 24' 09''$, and an arc length of 107.78 feet to a point;

Thence, N $00^{\circ} 38' 14''$ W, along the easterly side of said right of way, a distance of 112.71 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the left with a radius of 150.00 feet, a delta angle of $29^{\circ} 03' 25''$ and an arc length of 76.07 feet to a point;

Thence, continuing along the easterly side of said right of way, N $29^{\circ} 41' 39''$ W a distance of 100.01 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the right with a radius of 100.00 feet, a delta angle of $44^{\circ} 52' 16''$ and an arc length of 78.31 feet to a point;

Thence, continuing along the easterly side of said right of way, N $15^{\circ} 10' 37''$ E, a distance of 110.38 feet to a point;

Thence, continuing along the easterly side of said right of way and following a curve to the left having a radius of 225.00 feet, a delta angle of $28^{\circ} 44' 30''$ and an arc length of 112.87 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the left, having a radius of 225.00 feet, a delta angle of $35^{\circ} 38' 03''$ and an arc length of 139.94 feet to a point;

Thence, continuing along the easterly side of said right of way, N $49^{\circ} 11' 56''$ W, a distance of 105.64 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the right having a radius of 325.00 feet, a delta angle of $09^{\circ} 40' 50''$ and an arc length of 54.91 feet to a point;

Thence, continuing along the easterly side of said right of way N $39^{\circ} 31' 07''$ W, a distance of 105.67 feet;

Thence, continuing along the easterly side of said right of way, following a curve to the right, having a radius of 175.00 feet, a delta angle of $11^{\circ} 00' 30''$ and an arc length of 33.62 feet to a point;

Thence, continuing along the easterly side of said right of way N $28^{\circ} 30' 37''$ W, a distance of 102.56 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the left with a radius of 525.00 feet, a delta angle of $24^{\circ} 59' 31''$ and an arc length of 229.00 feet to a point;

Thence, N $53^{\circ} 30' 08''$ W, along the easterly side of said right of way a distance of 89.09 feet to a point marking the Gray-Cumberland Town Line and the easterly terminus of Section B.

Thence, S $34^{\circ} 47' 12''$ W, along the Gray-Cumberland Town Line, a distance of 50.02 feet to a point marking the northerly corner of land of Robert J. Piampiano and the westerly terminus of Section B.

Thence, S $53^{\circ} 30' 08''$ E along land of Piampiano and the westerly side of said right of way a distance of 87.59 feet to a point;

Thence, continuing along the westerly side of said right of way following a curve to the left having a radius of 475.00 feet, a delta angle of $24^{\circ} 59' 31''$ and an arc distance of 207.19 feet to a point;

Thence, continuing along the westerly side of said right of way and land now or formerly of Friedman S $28^{\circ} 30' 37''$ E, a distance of 102.56 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the right having a radius of 225.00 feet, a delta angle of $11^{\circ} 00' 30''$, and an arc length of 43.23 feet to a point;

Thence, continuing along the westerly side of said right of way S $39^{\circ} 31' 07''$ E, a distance of 105.67 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the right having a radius of 375.00 feet, a delta angle of $09^{\circ} 40' 50''$ and an arc length of 63.36 feet to a point;

Thence, continuing along the westerly side of said right of way S $49^{\circ} 11' 56''$ E a distance of 105.64 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the left with a radius of 175.00 feet, a delta angle of $64^{\circ} 22' 30''$ and an arc length of 196.62 feet to a point;

Thence, continuing along the westerly side of said right of way S $15^{\circ} 10' 37''$ W a distance of 110.38 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the right with a radius of 150.00 feet, a delta angle of $44^{\circ} 52' 16''$ and an arc length of 117.47 feet to a point;

Thence, continuing along the westerly side of said right of way S $29^{\circ} 41' 39''$ E a distance of 100.01 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the left, having a radius of 100.00 feet, a delta angle of $29^{\circ} 03' 25''$ and an arc length of 50.71 feet to a point;

Thence, continuing along the westerly side of said right of way S $00^{\circ} 38' 14''$ E a distance of 62.18 feet to a point;

Thence, along the northwesterly side of said right of way, following a curve to the left, having a radius of 100.00 feet, a delta angle of $73^{\circ} 03' 20''$ and an arc length of 127.51 feet to a point marking the southerly terminus of Section B.

Bearings herein are based on Grid North NAD 83 Maine West Zone.

The above description is based upon a "Standard Boundary Survey of Land of Robert J. Piampiano" for Brenda Piampiano by Sebago Technics dated 6/25/97 and recorded in Plan Book 201 Page 104 of the Cumberland County Registry of Deeds.

This Section B is a portion of a Right of Way designated as "Private Right of Way" on said survey.

Section C

Beginning at a point on the northeasterly side of the Right of Way and marking the northeasterly terminus of Section A described above;

Thence proceeding N 50° 02' 23" W a distance of 44.62 feet to a point;

Thence proceeding by a curve to the left having a radius of 125.0 feet and a central angle of 57° 32' 30" an arc distance of 125.54 feet to a point;

Thence proceeding S 72° 25' 07" W a distance of 13.44 feet to a point;

Thence proceeding S 72° 25' 07" W a distance of 80.98 feet to a point;

Thence proceeding by a curve to the right having a radius of 240.0 feet a central angle of 76° 22' 43" and an arc distance of 319.93 feet to a point;

Thence proceeding S 58° 47' 50" W a distance of 50.0 feet (said line marking the end of Section B) to a five-eighths (5/8) inch rebar capped, said rebar marking the southeasterly corner of a parcel of land now or formerly of Brenda T. Piampiano;

Thence proceeding by a curve to the left having a radius of 290.0 feet, a central angle of 42° 17' 42", and an arc distance of 214.07 feet to a point marking the southwesterly corner of a lot of land conveyed by deed from Sarah E. Piampiano to Scott S. Kibler;

Thence along the northerly boundary of said Kibler's land by a curve to the left having a radius of 290.0 feet a central angle of 34° 01' 05", and an arc distance of 172.51 feet to a point;

Thence proceeding N 72° 25' 07" E along said Kibler's land a distance of 94.42 feet to a point;

Thence proceeding along said Kibler's land by a curve to the right having a radius of 75.00 feet, a central angle of $57^{\circ} 32' 30''$, and an arc distance of 75.32 feet to a point;

Thence proceeding S $50^{\circ} 02' 23''$ E a distance of 0.90 feet to the point of beginning.

Bearings herein are based on Grid North – NAD 83 Maine West Zone.

The above description is based upon a "Standard Boundary Survey of Land of Robert J. Piampiano" for Brenda T. Piampiano by Sebago Technics, Inc. dated 6/11/97 recorded in Plan Book 201, Page 104 of the Cumberland County Registry of Deeds. This Section C is a portion of a Right of Way designated as "Private Right of Way" on said survey.

Received
Recorded Register of Deeds
Dec 09, 2005 10:46:11A
Cumberland County
John B O'Brien

TOWN OF CUMBERLAND, MAINE
PRIVATE WAY GRANT OF A PUBLIC EASEMENT

EASEMENT DEED made this 21 day of November, 2005 by and between ROBERT J. PIAMPIANO and BRENDA T. PIAMPIANO, with a mailing address of 412 Blanchard Road, Cumberland, Maine 04021 (hereinafter referred to as "Grantors") and the TOWN OF CUMBERLAND, a Maine municipality under the laws of the State of Maine, with a mailing address of 290 Tuttle Road, Cumberland, Maine 04021 (hereinafter referred to as "Cumberland").

WHEREAS, Grantors are the owners and users of a private way known as Blanchard Road Extension, in the Town of Cumberland, County of Cumberland and State of Maine as described in Exhibit A annexed hereto and being a portion of land set forth in the following deed:

1. Deed of Theodore W. Moore, Representative of Estate of Katherine E. Moore, recorded in Book 13097, page 297 in the Cumberland County Registry of Deeds.

WHEREAS, Grantors wish to grant Cumberland the right to maintain the road upon terms and conditions set forth in this Easement Deed; and

WHEREAS, Cumberland is willing to maintain the road upon terms and conditions set forth in this Easement Deed.

NOW THEREFORE, in consideration of the promises as set forth herein, the Grantors hereby grant unto Cumberland a public easement in common with the Grantor and others for use of the road for all purposes, including but not limited to, entering upon said road with persons, vehicles and equipment for the purpose of performing maintenance on said road, including without limitation repairs, snowplowing and sanding, but Cumberland shall be under no obligation to perform the same.

As part consideration of this easement and notwithstanding anything to the contrary in the Easement Deed, Grantors shall be obligated to maintain the road at a minimum standard as may be required by Cumberland in accordance with policies established by Cumberland.

Grantors further hereby agree to indemnify, release and hold harmless the Town of Cumberland, its officers, agents and employees from any and all liability from any and all claims, damages, actions and causes of action, judgments and costs including attorneys' fees, for personal injury and property damage arising

out of or resulting from Cumberland's maintenance of Blanchard Road Extension.

In the event that Cumberland no longer maintains said Blanchard Road Extension, Cumberland agrees to sign a recordable release of this easement.

This easement shall be binding on the heirs, devisees, assigns and successors of the parties herein.

WITNESS our hands and seals this 21st day of November, 2005.

Marilynn L. Paquette
Witness

John M. Gills
Witness

Robert J. Piampiano
Robert J. Piampiano

Brenda T. Piampiano
Brenda T. Piampiano

Madeline Davis
Witness

TOWN OF CUMBERLAND

By: [Signature]
Its: TOWN MANAGER

STATE OF MAINE
CUMBERLAND, SS.
2005

November 21

Then personally appeared the above-named Robert J. Piampiano and acknowledged the foregoing instrument to be his free act and deed.

(Before me,

Marilynn L. Paquette
Attorney at Law/Notary Public
Print Name: MARILYNN L. PAQUETTE
My Commission Expires: 8-15-2012

MARILYNN L. PAQUETTE
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES:
AUGUST 15, 2012

STATE OF MAINE
CUMBERLAND, SS.
2005

November 30, 2005

Then personally appeared the above-named
William R. Shane, Town Manager of said TOWN
OF CUMBERLAND and acknowledged the foregoing instrument to be his free
act and deed in his said capacity and the free act and deed of said
municipality.

Before me,

Nancy L. Stroud
Attorney at Law/Notary Public
Print Name: Nancy L. Stroud
My Commission Expires: Sept. 13 2009

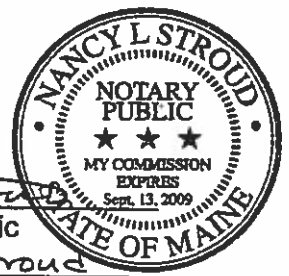


Exhibit A - Piampiano Easement

Beginning on the northeasterly sideline of a private road and Right of Way known as Blanchard Road Extension at a point marking the northeasterly corner of a portion of said Right of Way conveyed to Chase Custom Homes and Finance, Inc. by deed of Robert J. and Brenda T. Piampiano recorded in Book 13976, Page 274 of the Cumberland County Registry, thence proceeding along the northeasterly sideline of the Right of Way as follows:

Along land now or formerly of Kalinich, following a curve to the right, having a radius of 125.00 feet, a delta angle of $49^{\circ} 24' 09''$, and an arc length of 107.78 feet to a point;

Thence, $N 00^{\circ} 38' 14'' W$, along the easterly side of said Right of Way a distance of 112.71 feet to a point;

Thence, proceeding directly across said Right of Way on a line perpendicular to the center line thereof, a distance of 50.00 feet to the westerly side of said Right of Way to a point;

Thence, continuing along the westerly side of said Right of Way $S 00^{\circ} 38' 14'' E$ a distance of 62.18 feet to a point;

Thence, continuing along the northwesterly side of said Right of Way, following a curve to the left, having a radius of 100.00 feet, a delta angle of $73^{\circ} 03' 20''$, and an arc length of 127.51 feet to a point;

Thence, proceeding along the northwesterly side of said Right of Way $S 72^{\circ} 25' 07'' W$ a distance of 80.98 feet to a point;

Thence, proceeding directly across said Right of Way a distance of 50.00 feet on a line perpendicular to the center line thereof to a point;

Thence, proceeding along the southerly side of said Right of Way $N 72^{\circ} 25' 07'' E$ along land now or formerly of Kibler a distance of 94.42 feet to a point;

Thence, proceeding along the southerly side of said Right of Way and Kibler's land following a curve to the right, having a radius of 75.00 feet, a delta angle of $57^{\circ} 32' 30''$, and an arc distance of 75.32 feet to a point;

Thence, proceeding along the westerly side of said Right of Way S 50° 02' 23" E a distance of 0.90 feet to a point;

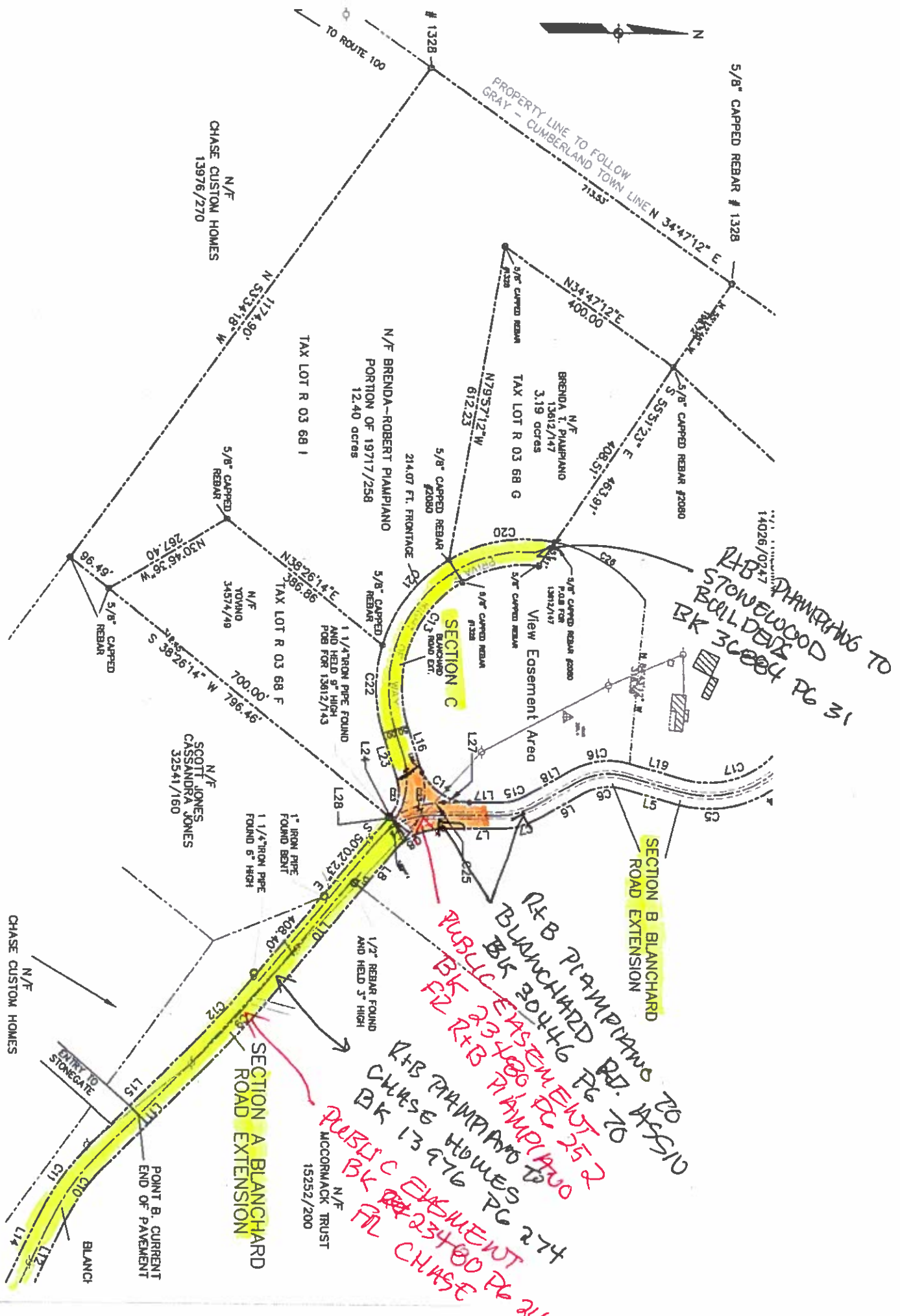
Thence, proceeding directly across said Right of Way, a distance of 50.00 feet, more or less, on a line perpendicular to the center line thereof, to the point of beginning.

Bearings herein are based on Grid North -- NAD 83 Maine West Zone.

The above description is based upon a "Standard Boundary Survey of Land of Robert J. Piampiano" for Brenda T. Piampiano by Sebago Technics Inc., dated June 11, 1997, recorded in Plan Book 201, Page 104 of the Cumberland County Registry of Deeds. The easement described herein is a portion of a Right of Way designated as "Private Right of Way" on said Survey.

Describing a portion of land conveyed by deed of Theodore W. Moore, Representative of the Estate of Katherine E. Moore, recorded in Book 13097, Page 297 of said Registry.

Received
Recorded Register of Deeds
Dec 09, 2005 10:50:09A
Cumberland County
John B O'Brien



045075

WARRANTY DEED

ROBERT J. PIAMPIANO and BRENDA T. PIAMPIANO with a mailing address of 365 Blanchard Road, Cumberland, Maine 04021, for consideration paid, GRANTS to CHASE CUSTOM HOMES & FINANCE, INC., a Maine corporation with a mailing address of 1 Percy Hawkes Road, Windham, Maine, with WARRANTY COVENANTS, that certain lot or parcel of land situated in the Town of CUMBERLAND, County of CUMBERLAND and State of MAINE, and more particularly described on EXHIBIT A attached hereto and made a part hereof.

SUBJECT to the rights, easements and interests as set forth in deeds from Robert J. Piampiano and Brenda T. Piampiano as follows:

MAINE REAL ESTATE TAX PAID

- a. A Deed to Judith Kane, dated July 18, 1997 and recorded in the Cumberland County Registry of Deeds in Book 13210, Page 161;
- b. A Deed to Brenda Piampiano dated February 20, 1998 and recorded in the Cumberland County Registry of Deeds in Book 13612, Page 140;
- c. A Deed to Josephine M. Piampiano, Custodian, dated February 20, 1998 and recorded in the Cumberland County Registry of Deeds in Book 13612, Page 143; and
- d. A Deed to Brenda T. Piampiano dated February 20, 1998 and recorded in the Cumberland County Registry of Deeds in Book 13612, Page 147.
- e. A Deed to John Mark Piampiano, dated February 20, 1998 and recorded in the Cumberland County Registry of Deeds in Book 13612, Page 137.

FURTHER SUBJECT to the rights of the public over and across the premises and any and all rights of the Town of Cumberland to the extent that Blanchard Road Extension is a public road.

RESERVING unto Robert J. Piampiano and Brenda T. Piampiano, their heirs and assigns, a right of way and easement over and across the premises herein referenced for the purpose for ingress and egress to other land of Robert J. Piampiano and Brenda T. Piampiano, and the right to construct, repair, maintain and replace electrical, telephone and other utility poles, lines and wires over and across the premises herein described to other land of Robert J. Piampiano and Brenda T. Piampiano being that property described in a deed to Robert J. Piampiano, et al., recorded in the Cumberland County Registry of Deeds in Book 4967, Page 174, and Cumberland County Registry of Deeds in Book 9939, Page 94 and property described in a deed to Robert J. Piampiano and Brenda T. Piampiano recorded in the Cumberland County Registry of Deeds in Book 13188, Page 69 as corrected, and also the premises described in a deed to Robert J. Piampiano dated May 23, 1997 and recorded in the Cumberland County Registry of Deeds in Book 13097, Page 257.

FURTHER RESERVING, unto Robert J. Piampiano and Brenda T. Piampiano, their heirs and assigns, the right to improve the reserved right of way to Town standards and to apply for dedication and acceptance of the way by the Town of Cumberland.

BK 13976PG275

IN WITNESS WHEREOF, the said ROBERT J. PIAMPIANO and BRENDA T. PIAMPIANO have signed this instrument on the 9 day of July, 1998.


ROBERT J. PIAMPIANO



BRENDA T. PIAMPIANO

STATE OF MAINE
COUNTY OF CUMBERLAND

July 9, 1998

Personally appeared the above named ROBERT J. PIAMPIANO and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Notary Public/Attorney-at-Law
Print Name: Paul S. Duncan

STATE OF MAINE
COUNTY OF CUMBERLAND

July 9, 1998

Personally appeared the above named BRENDA T. PIAMPIANO and acknowledged the foregoing instrument to be her free act and deed.

Before me,


Notary Public/Attorney-at-Law
Print Name: Paul S. Duncan

119733/PSB/SKLF

EXHIBIT A

A certain lot or parcel of land located at the northwesterly terminus of Blanchard Road, in the Town of Cumberland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point on the southwesterly side of the northwesterly terminus of the apparent Town accepted portion of the Blanchard Road and being the easterly corner of land now or formerly of Robert J. Piampiano and Brenda T. Piampiano as described in Book 9939, Page 96, recorded in the Cumberland County Registry of Deeds;

Thence, N 63°-33'-57" W, along land of said Piampiano, 150.25 feet to a point;

Thence, continuing along land of said Piampiano, following a curve to the right, having a radius of 500.00 feet and an arc length of 163.84 feet to a point;

Thence, N 44°-47'-29" W, continuing along land of said Piampiano, 272.27 feet to a point;

Thence, continuing along land of Piampiano, following a curve to the left, having a radius of 2000.00 feet and an arc length of 183.20 feet to a point;

Thence, N 50°-02'-23" W, continuing along land of said Piampiano, also along land of Raymond Geissler and Nina Geissler as described in Book 9922, Page 90, 408.40 feet to a point;

Thence, N 37°-14'-44" E, approximately 50 feet to the apparent northeasterly sideline of the gravel portion of the extension of said road known as Blanchard Road Extension;

Thence, in a southeasterly direction along the northeasterly sideline of Blanchard Road Extension, so-called, 1000 feet, more or less, to a point at the northwesterly terminus of the apparent town accepted portion of Blanchard Road;

Thence, S 48°-05'-53" W, along the northwesterly terminus of the apparent town accepted portion of Blanchard Road, approximately 50 feet to the point of beginning.

Meaning and intending to describe part of the gravel portion of Blanchard Road extending from Blanchard Road to a point marked by the northeast corner of property of Raymond and Nina Geissler herein referenced.

119902

RECEIVED
RECORDED REGISTRY OF DEEDS

1998 JUL 13 AM 10: 29

CUMBERLAND COUNTY

RELEASE DEED

ROBERT J. PIAMPIANO, with a mailing address of 3 High Street, Brunswick, Maine 04011, for consideration paid, **RELEASES** to the **BLANCHARD ROAD EXTENSION ROAD ASSOCIATION**, a non-profit corporation organized and existing under the laws of the State of Maine, with a mailing address of 366 Blanchard Road, Cumberland, Maine 04021, that certain lot or parcel of land situated in the Town of Cumberland, County of Cumberland, and State of Maine, as more particularly described on **EXHIBIT A** attached hereto and made a part hereof.

Being a portion of the premises described in a deed to Robert J. Piampiano from the Estate of Katherine E. Moore dated May 23, 1997, recorded in the Cumberland County Registry of Deeds in Book 13097, Page 297.

IN WITNESS WHEREOF, the said Robert J. Piampiano has signed this instrument on the 1st day of March, 2013.

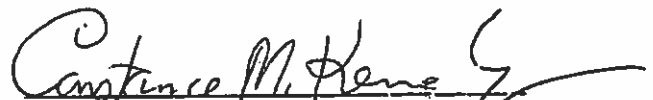

Robert J. Piampiano

STATE OF MAINE
COUNTY OF CUMBERLAND

March 1, 2013

Personally appeared the above named Robert J. Piampiano and acknowledged the foregoing instrument to be his free act and deed.

Before me,


Notary Public/~~Attorney at Law~~
Print Name:

CONSTANCE M. KENNEDY
Notary Public
My Commission Expires:
August 2, 2016

SEAL

Exhibit A to Release Deed

A portion of a certain right of way and private road known as Blanchard Road Extension located in the Town of Cumberland, County of Cumberland, State of Maine bounded and described as follows.

Beginning on the southerly sideline of a 50 foot private right of way known as Blanchard Road Extension at a 1 and ¼ inch iron pipe held 9 inches high, said beginning point marking the southwesterly terminus of that portion of Blanchard Road Extension known and described as Section A in Exhibit A to an Amended Road Maintenance Agreement dated November 18, 2005 and recorded in Book 23480, Page 223 et seq. in the Cumberland County Registry of Deeds, said point of beginning also being shown on a Standard Boundary Survey of Land of Robert J. Piampiano dated 6/25/97, recorded in Plan Book 201 Page 204 of said Registry, thence proceeding in a counterclockwise direction (with all calls regarding direction of curve based on proceeding in a counterclockwise direction) as follows:

N 37°14' 44" E across the right of way a distance of 50.06 feet, more or less, to a point marking the northeasterly terminus of Section A referenced above;

Thence, S 50° 02' 23" E, a distance of 44.62 feet to a point on the easterly sideline of Blanchard Road Extension and land now or formerly of Kalinich;

Thence, along land of Kalinich, following a curve to the right, having a radius of 125.00 feet, a delta angle of 49° 24' 09", and an arc length of 107.78 feet to a point;

Thence, continuing along the easterly side of said right of way, N 00° 38' 14" W, a distance of 112.71 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the left with a radius of 150.00 feet, a delta angle of 29° 03' 25" and an arc length of 76.07 feet to a point;

Thence, continuing along the easterly side of said right of way, N 29° 41' 39" W, a distance of 100.01 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the right with a radius of 100.00 feet, a delta angle of 44° 52' 16" and an arc length of 78.31 feet to a point;

Thence, continuing along the easterly side of said right of way, N 15° 10' 37" E, a distance of 110.38 feet to a point;

Thence, continuing along the easterly side of said right of way and following a curve to the left having a radius of 225.00 feet, a delta angle of 28° 44' 30" and an arc length of 112.87 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the left, having a radius of 225.00 feet, a delta angle of 35° 38' 03" and an arc length of 139.94 feet to a point;

Thence, continuing along the easterly side of said right of way, N 49° 11' 56" W, a distance of 105.64 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the right having a radius of 325.00 feet, a delta angle of 09° 40' 50" and an arc length of 54.91 feet to a point;

Thence, continuing along the easterly side of said right of way, N 39° 31' 07" W, a distance of 105.67 feet;

Thence, continuing along the easterly side of said right of way, following a curve to the right, having a radius of 175.00 feet, a delta angle of 11° 00' 30" and an arc length of 33.62 feet to a point;

Thence, continuing along the easterly side of said right of way, N 28° 30' 37" W, a distance of 102.56 feet to a point;

Thence, continuing along the easterly side of said right of way, following a curve to the left with a radius of 525.00 feet, a delta angle of 24° 59' 31" and an arc length of 229.00 feet to a point;

Thence, continuing along the easterly side of said right of way, N 53° 30' 08" W, a distance of 89.09 feet to a point marking the Gray-Cumberland Town Line and the easterly terminus of Section B as described in Exhibit A to the amended Road Maintenance Agreement above referenced, and the easterly terminus of the property herein conveyed.

Thence, S 34° 47' 12" W, along the Gray-Cumberland Town Line, a distance of 50.02 feet to a point marking the northerly corner of land formerly of Robert J. Piampiano, now of Briggs and Lowery, and the westerly terminus of Section B and the property herein conveyed.

Thence, S 53° 30' 08" E along land formerly of Piampiano, now of Briggs and Lowery, and the westerly side of said right of way a distance of 87.59 feet to a point;

Thence, continuing along the westerly side of said right of way following a curve to the right having a radius of 475.00 feet, a delta angle of 24° 59' 31" and an arc distance of 207.19 feet to a 5/8 inch rebar;

Thence, continuing along the westerly side of said right of way and land now or formerly of Friedman S 28° 30' 37" E, a distance of 102.56 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the left having a radius of 225.00 feet, a delta angle of 11° 00' 30", and an arc length of 43.23 feet to a point;

Thence, continuing along the westerly side of said right of way, S 39° 31' 07" E, a distance of 105.67 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the left having a radius of 375.00 feet, a delta angle of 09° 40' 50" and an arc length of 63.36 feet to a point;

Thence, continuing along the westerly side of said right of way, S 49° 11' 56" E, a distance of 105.64 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the right with a radius of 175.00 feet, a delta angle of 64° 22' 33" (listed as 64° 22' 30" in Exhibit A to the Amended Road Maintenance Agreement referenced above due to a scrivener's error) and an arc length of 196.62 feet to a point;

Thence, continuing along the westerly side of said right of way, S 15° 10' 37" W, a distance of 110.38 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the left with a radius of 150.00 feet, a delta angle of 44° 52' 16" and an arc length of 117.47 feet to a point;

Thence, continuing along the westerly side of said right of way, S 29° 41' 39" E, a distance of 100.01 feet to a point;

Thence, continuing along the westerly side of said right of way, following a curve to the right, having a radius of 100.00 feet, a delta angle of 29° 03' 25" and an arc length of 50.71 feet to a point;

Thence, continuing along the westerly side of said right of way, S 00° 38' 14" E, a distance of 62.18 feet to a point;

Thence, continuing along the northwesterly side of said right of way, following a curve to the left, having a radius of 100.00 feet, a delta angle of 73°

03' 20" and an arc length of 127.51 feet to a point in the northerly sideline of Section C as described in Exhibit A to the Amended Road Maintenance Agreement referenced above;

Thence, S 32° 37' 37" E across a portion of Section C of said right of way a distance of 51.77 feet to a point in the southerly sideline of said section C and land now or formerly of Kibler;

Thence, continuing along the southerly sideline of a portion of Section C of said right of way and along land now or formerly of Kibler following a curve to the right having a radius of 75.00 feet, a delta angle of 57° 32' 30", and an arc distance of 75.32 feet to a point;

Thence, continuing along the southerly sideline of a portion of Section C of said right of way, S 50° 02' 23" E a distance of 0.90 feet to a 1 and ¼ inch iron pipe held 9 inches high at the point of beginning and at the southerly terminus of the property herein conveyed;

Meaning and intending to convey and describe all of Section B, and a small portion of Section C, of Blanchard Road Extension as described in Exhibit A to the above referenced Amended Road Maintenance Agreement.

Bearings herein are based on Grid North NAD 83 Maine West Zone.

The above description is based upon a "Standard Boundary Survey of Land of Robert J. Piampiano" for Brenda Piampiano by Sebago Technics dated 6/25/97 and recorded in Plan Book 201, Page 104 of the Cumberland County Registry of Deeds.

Reserving an easement and right of way over the property herein conveyed to the Grantor, his heirs and assigns, in common with others, whether heretofore or hereafter granted, for purposes of ingress, egress, installation, repair, or maintenance of utilities, whether above ground or below ground, to and from any property of the Grantor or to any addition, division or portion thereof. Grantor, his heirs and assigns, also reserve the right to construct, repair, maintain, or replace electrical, telephone, or other utility poles, lines, and wires or other structures above or below ground, and further reserve the right to improve the reserved right of way to town standards and to apply for dedication and acceptance of the way by the Town of Cumberland.

The property herein conveyed shall be used by the Blanchard Road Extension Road Association and its members solely for purposes of a roadway providing ingress, egress, road maintenance and repair, and utility access to the property of its members, and shall not be used as a building lot nor shall any permanent buildings or structures be placed thereon.

The property herein conveyed is subject to the terms and conditions of the above referenced Declaration of Covenants and Amended Road Maintenance Agreement dated November 18, 2005, recorded in Book 23480, Page 223 et seq. of the Cumberland County Registry of Deeds, which shall run with the land herein conveyed.

The property herein conveyed is also subject to the individual rights of those persons or entities, their heirs, successors and assigns, who are signatory to the above referenced Declaration of Covenants and Amended Road Maintenance Agreement dated November 18, 2005, recorded in Book 23480, Page 223 et seq. of the Cumberland County Registry of Deeds, or who have acquired property of a signatory thereafter, by virtue of easements and rights of way granted to them in their individual deeds, including, as of the current date, Robert and Brenda Piampiano, Bruce and Nancy Wildes, Jeffrey and Beatrice Kalinich, Paul and Laura Friedman, Suzanne and Kermit McCormack, the Suzanne L. McCormack Trust, Scott S. Kibler, Raymond and Nina Geissler, Mark A. Fairbanks and Christa Fairbanks, and Richard Briggs and Mary Lowery.

The property herein conveyed is also subject to the rights of the Town of Cumberland to use certain portions of Sections A, B and C of Blanchard Road Extension pursuant to an Easement Deed from Chase Custom Homes & Finance, Inc. to the Town of Cumberland dated November 21, 2005, recorded in Book 23480, Page 247 of the Cumberland County Registry of Deeds, and pursuant to an Easement Deed from Robert and Brenda Piampiano to the Town of Cumberland dated November 21, 2005 recorded in Book 23480, Page 252 of the Cumberland County Registry of Deeds.

The property herein conveyed does not create a subdivision, since no other division of the parcel from which this property comes has occurred within the last 5 years.

Received
Recorded Register of Deeds
Mar 06:2013 11:13:20A
Cumberland County
Pamela E. Lavley

TOWN OF CUMBERLAND, MAINE
PRIVATE WAY GRANT OF A PUBLIC EASEMENT

EASEMENT DEED made this 21 day of November 2005 by and between CHASE CUSTOM HOMES & FINANCE, INC, with a mailing address of 1 Percy Hawkes Road, Windham, County of Cumberland and State of Maine 04062 (hereinafter referred to as "Grantor") and the TOWN OF CUMBERLAND, a Maine municipality under the laws of the State of Maine, with a mailing address of 290 Tuttle Road, Cumberland, Maine 04021 (hereinafter referred to as "Cumberland").

WHEREAS, Grantor is the owner and user of a private way known as Blanchard Road Extension, in the Town of Cumberland, County of Cumberland and State of Maine as described in Exhibit A annexed hereto and being further set forth in the following deeds:

1. Deed from Robert J. Piampiano and Brenda T. Piampiano to Chase Custom Homes and Finance, Inc. dated July 9, 1998 and recorded at Cumberland County Registry of Deeds in Book 13976, Page 274.

WHEREAS, Grantor wishes to grant Cumberland the right to maintain the road upon terms and conditions set forth in this Easement Deed; and

WHEREAS, Cumberland is willing to maintain the road upon terms and conditions set forth in this Easement Deed.

NOW THEREFORE, in consideration of the promises as set forth herein, the Grantor hereby grants unto Cumberland a public easement in common with the Grantor and others for use of the road for all purposes, including but not limited to, entering upon said road with persons, vehicles and equipment for the purpose of performing maintenance on said road, including without limitation repairs, snowplowing and sanding, but Cumberland shall be under no obligation to perform the same.

As part consideration of this easement and notwithstanding anything to the contrary in the Easement Deed, Grantor shall be obligated to maintain the road at a minimum standard as may be required by Cumberland in accordance with policies established by Cumberland.

Grantors further hereby agree to indemnify, release and hold harmless the Town of Cumberland, its officers, agents and employees from any and all liability from any and

all claims, damages, actions and causes of action, judgments and costs including attorneys' fees, for personal injury and property damage arising out of or resulting from Cumberland's maintenance of Blanchard Road Extension.

In the event that Cumberland no longer maintains said Blanchard Road Extension, Cumberland agrees to sign a recordable release of this easement.

This easement shall be binding on the heirs, devisees, assigns and successors of the parties herein.

WITNESS our hands and seals this 21st day of November, 2005.

Sherwood S. Merrill
Witness

CHASE CUSTOM HOMES AND
FINANCE, INC., Owner

John F. Chase
John F. Chase- President
Duly Authorized

Melody Mc
Witness

TOWN OF CUMBERLAND

By: W. R. Shane
Its: Town Manager

STATE OF MAINE
CUMBERLAND, SS.

November 21, 2005

Then personally appeared the above-named John F. Chase, President of Chase Custom Homes and Finance, Inc, and acknowledged the foregoing instrument to be his free act and deed in said capacity and the free act and deed of said corporation.



Before me,

Sherwood S. Merrill
Attorney at Law/Notary Public
Print Name: SHERWOOD S. MERRILL
My Commission Expires: 7/21/2008

STATE OF MAINE
CUMBERLAND, SS.

Nov 30, 2005

Then personally appeared the above-named William R. Shane
Manager of said TOWN OF CUMBERLAND and acknowledged

the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said municipality.

Before me,

Nancy L. Stroud

Attorney at Law/Notary Public

Print Name: Nancy L. Stroud

My Commission Expires: Sept. 13, 2009

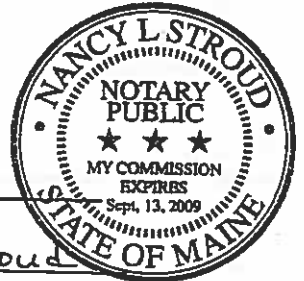


Exhibit A- Chase Easement

Beginning at the northeast corner of the unaccepted portion of Blanchard Road Extension where this point meets the end of the paved portion of Blanchard Road Extension, said beginning point lying on a course N 44° 47' 29" W a distance of 104.57 feet from a four inch (4") square granite monument set in the ground;

Thence proceeding N 44° 47' 29" W a distance of 272.27 feet to the beginning point of a curve;

Thence proceeding by a curve to the left having a radius of 2050.0 feet and a central angle of 5° 14' 54" an arc distance of 187.78 feet to a point;

Thence proceeding N 50° 02' 23" W a distance of 410.77 feet to a point;

Thence proceeding S 37° 14' 44" W a distance of 50.06 feet to a one and one-quarter (1 ¼) inch iron pipe nine (9) inches high and marking the northeast corner of a lot consisting of 3.11 acres conveyed by deed of even date from Sarah E. Piampiano to Scott S. Kibler;

Thence proceeding S 50° 02' 23" E a distance of 207.11 feet to a point;

Thence proceeding S 50° 02' 23" E a distance of 201.29 feet to a point;

Thence proceeding by a curve to the right having a radius of 2000.00 feet and a central angle of 5° 14' 54" an arc distance of 183.20 feet to a point;

Thence proceeding S 44° 47' 29" E a distance of 167.70 feet to a point marking the southwesterly end of the Town accepted paved portion of Blanchard Road Extension;

Thence proceeding northeasterly across Blanchard Road Extension to the point of beginning, containing .87 acres more or less. The above description is based upon a Plan entitled "Amended Subdivision Plan of

Stonegate Estates for John Chase," by Sebago Technics, Inc., dated 11/2/99 to which reference is made for a more particular description.

Bearings herein are based on Grid North – NAD 83 Maine West Zone.

Received
Recorded Register of Deeds
Dec 09, 2005 10:49:18A
Cumberland County
John B O'Brien

QUITCLAIM DEED
DLN: 1002040100562

ROBERT J. PIAMPIANO and BRENDA T. PIAMPIANO, husband and wife, with a mailing address of 3 High Street, Brunswick, Maine 04011, hereinafter the "Grantors," for consideration paid, **GRANT to Stonewood Builders of Maine, Inc.**, with a mailing address of 8 Roberts Street, Falmouth, Maine 04105, hereinafter the "Grantee," its heirs successors and assigns, with Quitclaim Covenant, certain land and other reserved rights situated in the Town of Cumberland, County of Cumberland, and State of Maine, as more particularly described on **EXHIBIT A** attached hereto and made a part hereof.

IN WITNESS WHEREOF, the said Robert J. Piampiano and Brenda T. Piampiano have signed this instrument on the 22nd day of June, 2020.

Kimberly Doyon
Witness

Robert J. Piampiano
Robert J. Piampiano

Kimberly Doyon
Witness

Brenda T. Piampiano
Brenda T. Piampiano

STATE OF MAINE
COUNTY OF CUMBERLAND

June 22, 2020

Personally appeared the above named Robert J. Piampiano and acknowledged the foregoing instrument to be his free act and deed.

Before me,



[Signature]
Notary Public/Attorney-at-Law
Print Name: TIM KEENE

Exhibit A to Quitclaim Deed to Stonewood Builders of Maine, Inc.

1. Fee Interest In Section C Right of Way. Hereby granting to said Grantee, its heirs, successors, and assigns all remaining right, title, and interest of Grantor Robert J. Piampiano in and to Section C, so-called, being a portion of a certain 50 foot right of way and private road known as Blanchard Road Extension located in the Town of Cumberland, County of Cumberland, State of Maine bounded and described as follows, with all lines (L-) and Curves (C-) referenced to the survey by Sebago Technics dated June 11, 1997 referenced below:

Point of Beginning. Beginning at a point on the southerly sideline of a 50 foot private right of way known as Blanchard Road Extension, which beginning point lies on a bearing of S 50°-02'-23" E a distance of 0.90 feet (L-24), then at the end of a curve (C-23) with a radius of 75.00 feet, a central angle of 57°-32'30", and an arc distance of 75.32 feet, from a 1 and ¼ inch iron pipe held 9 inches high, marking the southwesterly terminus of that portion of Blanchard Road Extension known and described as Section A in Exhibit A to an Amended Road Maintenance Agreement dated November 18, 2005 and recorded in Book 23480, Page 223 et seq. in the Cumberland County Registry of Deeds;

Thence proceeding in a clockwise direction (with all calls regarding direction of curve based on proceeding in clockwise direction) S 72°-25'-07" W a distance of 94.42 feet (L-23) along the southerly sideline of said Section C and land now or formerly of Yovino to a point in the southerly sideline of said Section C;

Thence along a curve to the right (C-22) with a radius of 290.00 feet, a central angle of 34°-01'-05" by and along the southerly sideline of said Section C and land of said Yovino an arc distance of 172.51 feet to a 5/8 inch capped iron rebar located in the southerly sideline of said Section C;

Thence along a curve to the right (C-21) with a radius of 290 feet, a central angle of 42°-17'-42" by and along the southerly sideline of said Section C and land now or formerly of Brenda and Robert Piampiano an arc distance of 214.07 feet to a 5/8 inch capped iron rebar set with cap # 2080;

Thence along a curve to the right (C-20) with a radius of 290.00 feet, a central angle of 42°-17'-43" by and along the southerly and westerly sideline of said Section C and land now or formerly of Brenda Piampiano an arc distance of 214.08 feet to a 5/8 inch capped iron rebar set with cap # 2080 marking the end of the southerly and westerly sideline of said Section C;

Thence S 55°-51'-23" E a distance of 55.41 feet to a 5/8 inch capped iron rebar set with cap # 2080 in the line of land now or formerly of Friedman and marking the end of the northerly and easterly sideline of said Section C;

Thence along a curve to the left (C-13) with a radius of 240.00 feet, a central angle of 113°-29'-15" by and along the easterly and northerly sideline of said Section C and land of said Friedman an arc distance of 475.38 feet to a point in the northerly sideline of said Section C;

Thence N 72° 25'-07" E a distance of 80.98 feet (L-16) along the northerly sideline of said Section C and land of said Friedman to a point in the northerly sideline of said Section C and the line of that portion of Blanchard Road Extension owned now or formerly of the Blanchard Road Extension Road Association;

Thence, S 32° - 37' - 37" E across Section C a distance of 51.77 feet along the line of said Blanchard Road Extension Road Association to the point of beginning at land now or formerly of said Yovino;

Being a portion of the premises described in a deed to Robert J. Piampiano from the Estate of Katherine E. Moore dated May 23, 1997, recorded in the Cumberland County Registry of Deeds in Book 13097, Page 257.

Meaning and intending to convey and describe all of Section C of Blanchard Road Extension as described in Exhibit A to the above referenced Amended Road Maintenance Agreement, except a small portion of Section C (which is now a part of Section B) conveyed by Grantor Robert J. Piampiano to the Blanchard Road Extension Road Association by deed dated March 1, 2013, recorded in Book 30446, Page 70 of said Cumberland County Registry.

The above description is based upon a "Standard Boundary Survey of Land of Robert J. Piampiano" for Brenda Piampiano by Sebago Technics dated June 11, 1997 and recorded in Plan Book 201, Page 104 of said Cumberland County Registry. This description has been updated to reflect current land owners and the above referenced conveyance to the Blanchard Road Extension Road Association. Bearings herein are based on Grid North NAD 83 Maine West Zone.

Subject to the rights of Yovino, his heirs and assigns to use that portion of the right of way herein conveyed which borders Yovino's property for purposes of ingress, egress, installation, repair, or maintenance of utilities, whether above ground or below ground, to and from said Yovino's property.

The property herein conveyed is subject to the terms and conditions of a certain Declaration of Covenants and Amended Road Maintenance Agreement dated November 18, 2005, recorded in Book 23480, Page 223 et seq. in said Cumberland County Registry, which shall run with the land herein conveyed.

2. Reserved Rights to Section A. Also granting all rights reserved to the Grantors, their heirs and assigns, in and to that portion of Blanchard Road Extension known and described as Section A, including an easement and right of way for purposes of ingress and egress and utilities to and from lands of the Grantee, to construct, repair, maintain, and replace electrical, telephone, or other utility poles, lines and wires on, over and

across said Section A, and to upgrade and improve to Town of Cumberland standards, and to apply to the Town of Cumberland for dedication and acceptance, all, or any portion of, of said Section A, all as described and reserved in a deed from Robert J. Piampiano and Brenda T. Piampiano to Chase Custom Homes & Finance, Inc. dated July 9, 1998 and recorded in Book 13976 Page 274 of said Cumberland County Registry, subject to the rights of the public, if any, and the rights of members of the Blanchard Road Extension Road Association, or individual lot owners, to use Section A in common with the Grantee, its heirs, successors and assigns, and others to provide access and utilities to and from their respective lots.

2. Reserved Rights to Section B. Also granting all rights reserved to the Grantor Robert J. Piampiano, his heirs and assigns, in and to that portion of Blanchard Road Extension known and described as Section B which may be necessary or convenient to provide a continuous 50 foot right of way from the end of Section A to that portion of Section C conveyed herein, including a right of way and easement for purposes of ingress and egress or utilities to and from lands of the Grantee, the right to construct, repair, maintain, and replace electrical, telephone, or other utility poles, lines and wires on, over and across said portion of Section B, and to upgrade and improve to Town of Cumberland standards, and to apply to the Town of Cumberland for dedication and acceptance, all, or any part of said portion of Section B, as described and reserved in a deed from Robert J. Piampiano to the Blanchard Road Extension Road Association dated March 1, 2013, recorded in Book 30446 Page 70 of said Cumberland County Registry, subject to the rights of the public, if any, and the rights of members of the Blanchard Road Extension Road Association, or individual lot owners, to use Section B, in common with the Grantee, his heirs, successors and assigns, and others to provide access and utilities to and from their respective lots.

Meaning and intending by these grants to convey to the Grantee, its heirs, successors, and assigns, rights of access and utilities to lands of the Grantee, and to upgrade and seek dedication and acceptance by the Town of Cumberland, of a continuous 50 foot right of way and easement from the end of the Town-owned portion of Blanchard Road Extension to lands conveyed to Nathaniel Ross and Stonewood Land, LLC by these Grantors by separate deeds of even date.

Attachment C
Supporting Documents

Copies of relevant correspondence and documents pertaining to the project are enclosed.

C

Supporting Documents



July 26, 2021

4185-2

Mr. Nathaniel Ross
Stonewood Land, LLC
8 Roberts Street
Falmouth, ME 04105
<via email>

**Re: Designation of Agent Authorization
Ross Estates Subdivision
Blanchard Road Extension, Cumberland, Maine
Tax Map R08, Lot 68I**

Dear Nate:

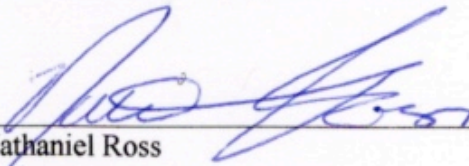
As required by various approval agencies, please indicate by signing below that Sitelines, PA is authorized to act as agent for Stonewood Land, LLC for the specific purpose of preparation and submission of local and state permitting applications on your behalf for the proposed subdivision for the lot identified as Tax Map R08, Lots 68I located off Blanchard Road Extension in Cumberland, Maine.

Very truly yours,

Kevin P. Clark

Kevin P. Clark, PLS
President

The undersigned hereby gives Sitelines, PA the authority to act as agent for Stonewood Land, LLC for the specific purpose of preparation and submission of local and state permitting applications for the project specifically identified above.

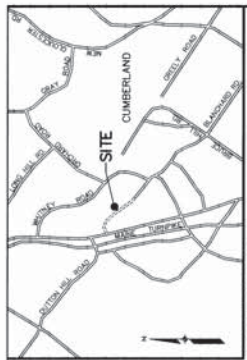


Nathaniel Ross

8/1/21

Date

SITELINES • CIVIL ENGINEERS • LAND SURVEYORS
119 Purinton Road, Suite A, Brunswick Landing, Brunswick, ME 04011
207-725-1200 • www.sitelinespa.com



LOCATION MAP

ADDITIONAL GENERAL NOTES

7. CONTINUED

KENNETH M. COLE JR. AS TOWN COUNSEL FOR THE TOWN OF CUMBERLAND IN A LITIGATION

DOES THE FIVE YEAR HOMESTEAD EXEMPTION UNDER THE SUBDIVISION LAW

THAT THE TOWN'S REVIEW OF THIS IS THAT THE STATUTORY REQUIREMENTS

EXCEPT TO THE EXTENT THAT A SALE TO AN ABUTTER ITSELF IS EXEMPT

THAT IS THE CASE THEN THE REUSE OF ALL OR A PART OF THE LAND ACQUIRED

BY THE ABUTTER BASED ON THE ABUTTER'S FIVE YEAR HOMESTEAD EXEMPTION

TOWN'S POSITION REMAINS THAT THIS TRANSACTION IS WITHIN THE LAW AND WILL

LAW AND ACTION AS AN ILLEGAL OR OTHERWISE IMPROPER SUBDIVISION OF THE

PAGE 4. BELONGS TO REPRESENTING MR. AND MRS. PIAMPANO STATES IN A LETTER TO

DOUGLAS LARSON, TOWN PLANNER, DATED OCTOBER 28, 1998, THE FOLLOWING:

1) THE REAL ESTATE LING ON THE EASTERN SIDE OF THE BLANCHARD ROAD

EXTENSION WAS CONVERTED INTO ROBERT AND BRENDA PIAMPANO AS

LAW AND DID NOT CREATE A LOT FOR PURPOSES OF THE SUBDIVISION

2) THE TWO LOTS OUT OF THE REMAINING PHASED PHASED PHASED

REMAINING ACRES IS NOT A THIRD LOT... THE REMAINING ACRES

RESERVED FOR OVER FIFTEEN YEARS, HENCE, THE DIVISION OF LAND DOES

NOT REQUIRE SUBDIVISION REVIEW ACCORDING TO MAINE LAW

REFERENCE IS MADE TO A "NOTICE OF DECISION" SIGNED BY THE CHAIRMAN OF THE

PLANNING BOARD FOR THE TOWN OF CUMBERLAND, MAINE, DATED OCTOBER 28, 1998, IN WHICH STATES:

APPLICATION FOR A PRE-APPLICATION CONFERENCE TO REVIEW THE LEGAL

AND THE SUBDIVISION REVIEW ACCORDING TO MAINE LAW

THE BOARD VOTED TO TAKE NO ACTION DUE TO THE LACK OF JURISDICTION.

THE PURPOSE OF THIS NOTE IS TO DOCUMENT THE LEGAL OPINIONS REACHED CONCERNING

QUESTION AND NOT A QUESTION OF BOUNDARY LOCATION. THE PURPOSE OF THIS PLAN IS

ALL DOCUMENTS REFERRED TO ON THIS PLAN ARE TO BE CONSIDERED AN INTEGRAL PART OF

THIS PLAN AND BY THE RECORDING OF THIS PLAN, MATTERS OF RECORD, THE DOCUMENTS ARE

THE FOLLOWING EXCEPTS:

A. NO WRITTEN SURVEYORS REPORT.

B. COMPLETED PRIOR TO JUNE 25, 1997 AND SUBSEQUENT FIELD WORK COMPLETED

TO SET POINTS AS SHOWN HEREON WERE DONE UNDER THE DIRECT SUPERVISION

REVISIONS MADE IN MARCH OF 1998 WERE COMPLETED BY THE SIGNING PROFESSIONAL

NO UPDATED RECORD INFORMATION IS SHOWN AFTER JUNE OF 1997. THIS SEAL AND

COMPLETED JUNE 25, 1997 WITH REVISIONS AS NOTED ON THE ADJUDICATORY DOCUMENT

C. PURSUANT TO THE STANDARDS OF PRACTICE AS SET FORTH BY THE BOARD OF LICENSURE

FOR PROFESSIONAL LAND SURVEYORS, THIS PLAN HAS BEEN MODIFIED TO REFLECT THE

13012 PAGE 147 AND LAND CONVERTED TO JOSEPHINE M. PIAMPANO AS CUSTODIAN FOR

SARAH E. PIAMPANO RECORDED IN BOOK 13012 PAGE 143. THE ABOVE DESCRIBED PARCELS

OF THE SURVEYOR'S SEAL AND SIGNATURE ON THIS PLAN IS TO RECORD A PLAN EXPECTING

SHOWN HEREON WERE DERIVED FROM THE ABOVE REFERENCED DEEDS AND WERE NOT

PROPOSED BY THE SIGNING PROFESSIONAL

D. DEEDS 2-19-1998 ADDED LOTS TO BE OFFED & NOTE 7 & 8

REV. DATE STATUS

A. 1998 2-19-1998 ADDED LOTS TO BE OFFED & NOTE 7 & 8

REV. DATE STATUS

A. 1998 2-19-1998 ADDED LOTS TO BE OFFED & NOTE 7 & 8

REV. DATE STATUS

A. 1998 2-19-1998 ADDED LOTS TO BE OFFED & NOTE 7 & 8

GENERAL NOTES

- RECORD OWNER OF PROPERTY IS ROBERT J. PIAMPANO, WHOSE MAILING ADDRESS IS 100 CUMBERLAND ROAD, CUMBERLAND, MAINE 04021. THE PROPERTY IS SHOWN AS OWNED BY ROBERT J. PIAMPANO, REPRESENTATIVE OF THE ESTATE OF KATHERINE E. MOORE, DATED MAY 27, 1997, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 13097, PAGE 257.
- THE PROPERTY IS LOCATED ON THE TOWN OF CUMBERLAND TAX MAP P-8 SHOWN AS LOT 68.
- BEARINGS ARE BASED ON GRID NORTH, 1983 AND WERE OBTAINED BY GPS OBSERVATIONS USING DUAL FREQUENCY RECEIVERS.
- TOTAL AREA OF PROPERTY: 37.16 AC.
- INSTRUMENT SURVEY PERFORMED SEBAGO TECHNICS, INC. MAY 1997. INSTRUMENT USED: LEICA SET A.
- AERIAL PHOTOGRAPHY WAS PROVIDED BY AERIAL SURVEY AND PHOTO, INC. NORWOOD, MAINE.
- CONTINUED

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THE TOWN OF CUMBERLAND, MAINE, IN A LITIGATION

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REV. DATE STATUS



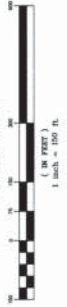
PROPERTY LINE DATA

LINE	DIRECTION	DISTANCE
L1	S 32° 00' 00" E	80.00
L2	S 32° 00' 00" E	100.00
L3	S 32° 00' 00" E	100.00
L4	S 32° 00' 00" E	100.00
L5	S 32° 00' 00" E	100.00
L6	S 32° 00' 00" E	100.00
L7	S 32° 00' 00" E	100.00
L8	S 32° 00' 00" E	100.00
L9	S 32° 00' 00" E	100.00
L10	S 32° 00' 00" E	100.00
L11	S 32° 00' 00" E	100.00
L12	S 32° 00' 00" E	100.00
L13	S 32° 00' 00" E	100.00
L14	S 32° 00' 00" E	100.00
L15	S 32° 00' 00" E	100.00
L16	S 32° 00' 00" E	100.00
L17	S 32° 00' 00" E	100.00
L18	S 32° 00' 00" E	100.00
L19	S 32° 00' 00" E	100.00
L20	S 32° 00' 00" E	100.00
L21	S 32° 00' 00" E	100.00
L22	S 32° 00' 00" E	100.00
L23	S 32° 00' 00" E	100.00
L24	S 32° 00' 00" E	100.00
L25	S 32° 00' 00" E	100.00
L26	S 32° 00' 00" E	100.00
L27	S 32° 00' 00" E	100.00
L28	S 32° 00' 00" E	100.00

PROPERTY LINE CURVE DATA

CURVE	RADIUS	LENGTH	DELTA
C1	335.00	234.00	142.00
C2	335.00	234.00	142.00
C3	335.00	234.00	142.00
C4	335.00	234.00	142.00
C5	335.00	234.00	142.00
C6	335.00	234.00	142.00
C7	335.00	234.00	142.00
C8	335.00	234.00	142.00
C9	335.00	234.00	142.00
C10	335.00	234.00	142.00
C11	335.00	234.00	142.00
C12	335.00	234.00	142.00
C13	335.00	234.00	142.00
C14	335.00	234.00	142.00
C15	335.00	234.00	142.00
C16	335.00	234.00	142.00
C17	335.00	234.00	142.00
C18	335.00	234.00	142.00
C19	335.00	234.00	142.00
C20	335.00	234.00	142.00
C21	335.00	234.00	142.00
C22	335.00	234.00	142.00
C23	335.00	234.00	142.00
C24	335.00	234.00	142.00
C25	335.00	234.00	142.00

GRAPHIC SCALE



STATE OF MAINE
Cumberland County's Registry of Deeds
Attest: *[Signature]* 2006 and RECORDED IN
PLAN BOOK 13097, PAGE 164
ATTEST: *[Signature]* 2006

Sebago Technics
Engineering & Surveying for the Future
One Oxford Street
Waterville, ME 05671
Tel: (207) 866-0277

SEBAGO TECHNICS, INC.
100 CUMBERLAND ROAD
CUMBERLAND, MAINE 04021

DESIGN BY: BTM
DRAWN BY: AB
CHECKED BY: DCS
DATE: 6-11-97
PROJECT: 13097
FIELD NO.: 534
PROJ. NO.: 97119
DRAWING: 97119S01

SHEET 1 OF 1

State of Maine



Department of the Secretary of State

I, the Secretary of State of Maine, certify that according to the provisions of the Constitution and Laws of the State of Maine, the Department of the Secretary of State is the legal custodian of the Great Seal of the State of Maine which is hereunto affixed and that the paper to which this is attached is a true copy from the records of this Department.

In testimony whereof, I have caused the Great Seal of the State of Maine to be hereunto affixed. Given under my hand at Augusta, Maine, this sixteenth day of August 2021.



Shenna Bellows

Shenna Bellows

Secretary of State

Additional Addresses

Legal Name	Title	Name	Charter #	Status
STONEWOOD LAND, LLC	Registered Agent		20208280DC	GOOD STANDING
Home Office Address (of foreign entity)		Other Mailing Address		



Albert Frick Associates, Inc

Environmental Consultants

380B Main Street Gorham, Maine 04038
(207) 839-5563 FAX (207) 839-5564
www.albertfrick.com info@albertfrick.com

Brady Frick, President, SE
Albert Frick, CSS, SE
Christopher Coppi CWS, SE
Bryan Jordan, SE
Matthew Logan, SE
Sarah Frick, Office Manager

June 12, 2020

Nate Ross
Stonewood Builders
8 Roberts Street
Falmouth, ME 04105

Re: Wetlands and Soil Suitability Report for 2 Blanchard Road Ext, Cumberland ME.

Dear Mr. Ross:

On May 13th, 2020, Albert Frick Associates, Inc. (AFA) completed a wetland delineation at the above-mentioned property. The property contains narrow freshwater, forested wetlands primarily along DEP-regulated streams that exist within the west and east halves of the property. One vernal pool was observed during the delineation and is located near the southern property boundary. Wetland boundaries were flagged in blue and labeled alphanumerically. Wetland flags were GPS-located using a Trimble Geo 7x hand-held unit. DEP streams were approximated by random GPS locations along the center line of each stream. The attached site plan illustrates the location and extent of wetlands and streams and the location of the vernal pool depression.

DEP Stream Permitting:

Several water courses on the property contained a scoured mineral bottom and at the time of the delineation, exhibited running water containing aquatic insects. As such, these water courses met the DEP stream definition per the Natural Resources Protection Act (NRPA). Streams are a protected resource which requires a 75-foot setback. Permits from the DEP are necessary if a project intrudes into the setback such as clearing of vegetation, filling or the constructions of structures.

Projects maintaining a 25-foot no disturbance from the edge of the stream may qualify for a stream-lined DEP review process referred to as Permit by Rule. Stream crossings for projects that require access, may also qualify for the PBR process. Projects that cannot maintain a 25-foot no disturbance or that don't qualify for a stream crossing PBR, are subject to an Individual review where approval is not a guarantee.

Vernal Pool:

The vernal pool located near the southern property boundary contained eight (8) spotted salamander egg masses. Spotted salamanders are a vernal pool amphibian species that use vernal pools during their life cycle and are considered an important indicator species by DEP and Army Corps. The Army Corps regulates this vernal pool and the area within 750-feet of the depression if wetlands are impacted for a project. After October 2020 the regulation of vernal pools by Army Corps is proposed to change; namely that the 750-foot regulatory buffer will only be applied if the vernal pool depression is impacted (see wetlands permitting section of this report for more information).

The DEP regulates only significant vernal pools. This vernal pool contained 8 spotted salamander egg masses which is short of the required 20 egg masses necessary to meet the significance criteria for DEP. However, a formal vernal pool survey must be submitted to the state for concurrence in order for this pool not be regulated by the state. Unless the state determines that the pool is not a significant vernal pool, proposed development or clearing activities within 250 feet of the vernal pool will be subject to DEP review and approval under the Significant Wildlife Habitat Rules, per NRPA.

Wetlands Permitting:

Based on site observations and available information including NWI Maps, wetland impacts are eligible for the normal DEP Tier review process provided the impact does not occur within 25 feet of any DEP stream or within 250 feet of the vernal pool (unless as noted above that the state determines that the pool is non-significant via a completed survey).

The Army Corps of Engineers requires permits for wetland impacts in addition to the DEP. Provided the wetlands permitting guidelines change in October 2020, projects that occur within 750 feet of the vernal pool will not be subject to clearing restrictions provided there is no direct impact to the vernal pool depression (pink hashed area on site plan).

Site Evaluation:

We did a preliminary soil evaluation on the above-referenced property on June 2, 2020. The purpose of the investigation was to determine the suitability of the site for on-site subsurface wastewater disposal. Enclosed is a site plan illustrating the location of random test pits (4), one of which is located on the adjacent lot.

Soils are suitable for wastewater disposal in the vicinity of all Test Pits in accordance with the Subsurface Wastewater Disposal Rules, Chapter 241. Soils on these properties contain somewhat poorly drained to moderately well drained, glacial till parent material and/or bedrock which require a medium-sized disposal system. A completed subsurface wastewater disposal system design (HHE-200) is necessary for a permit to install a system by any passing TP once the building size and location, and site development are conceptualized.

We recommend contacting a licensed surveyor to plot out a conceptual subdivision keeping mind that net residential acreage and other lot requirements may be applied depending upon the number of lots proposed in accordance with the Town of Cumberland Subdivision Rules.

Please contact me if you have any questions or matters for further discussion. I can be reached by phone at 756-3245 or by email at chris@albertfrick.com.

Sincerely,



Chris Coppi CWS, LSE
Certified Wetland Scientist, NH CWS #291
Licensed Site Evaluator

Town, City, Plantation
CUMBERLAND

Street, Road Subdivision
BLANCHARD RD EXT

Owner's Name
NATE ROSS

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole **TP-1** ☒ Test Pit ☐ Boring
" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
		BLACK	
SANDY LOAM		YELLOW BROWN	
		OLIVE BROWN	FEW FAINT
REFUSAL IN LARGE ROCK OR BEDROCK			

Soil Classification
2/3 AIII/C
Profile Condition

Slope
%
15

Limiting Factor
15

☒ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

Soil Series Name:

Drainage Class:

Hydrologic Group:

Observation Hole **TP-2** ☒ Test Pit ☐ Boring
" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
		GRAY BROWN	
SANDY LOAM	FRIABLE	YELLOW BROWN	NONE EVIDENT
		OLIVE BROWN	
LIMIT OF EXCAVATION			

Soil Classification
3 C
Profile Condition

Slope
%
24

Limiting Factor
24

☐ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

Soil Series Name:

Drainage Class:

Hydrologic Group:

FOR
WASTEWATER
DISPOSAL

FOR
SOILS
MAPPING

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole **TP-3** ☒ Test Pit ☐ Boring
" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
		GRAY BROWN	
SANDY LOAM	FRIABLE	YELLOW BROWN	
		OLIVE GRAY BROWN	COMMON DISTINCT
REFUSAL IN LARGE ROCK OR BEDROCK			

Soil Classification
2/3 AIII/D
Profile Condition

Slope
%
13

Limiting Factor
13

☒ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

Soil Series Name:

Drainage Class:

Hydrologic Group:

Observation Hole **TP-4** ☒ Test Pit ☐ Boring
" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
		DARK BROWN	
SANDY LOAM	FRIABLE	OLIVE GRAY BROWN	COMMON DISTINCT
		OLIVE GRAY	
REFUSAL IN LARGE ROCK OR BEDROCK			

Soil Classification
2/3 AIII/D
Profile Condition

Slope
%
1

Limiting Factor
1

☒ Ground Water
☐ Restrictive Layer
☐ Bedrock
☐ Pit Depth

Soil Series Name:

Drainage Class:

Hydrologic Group:

FOR
WASTEWATER
DISPOSAL

FOR
SOILS
MAPPING

CHRISTOPHER COPPI

Christopher Coppi

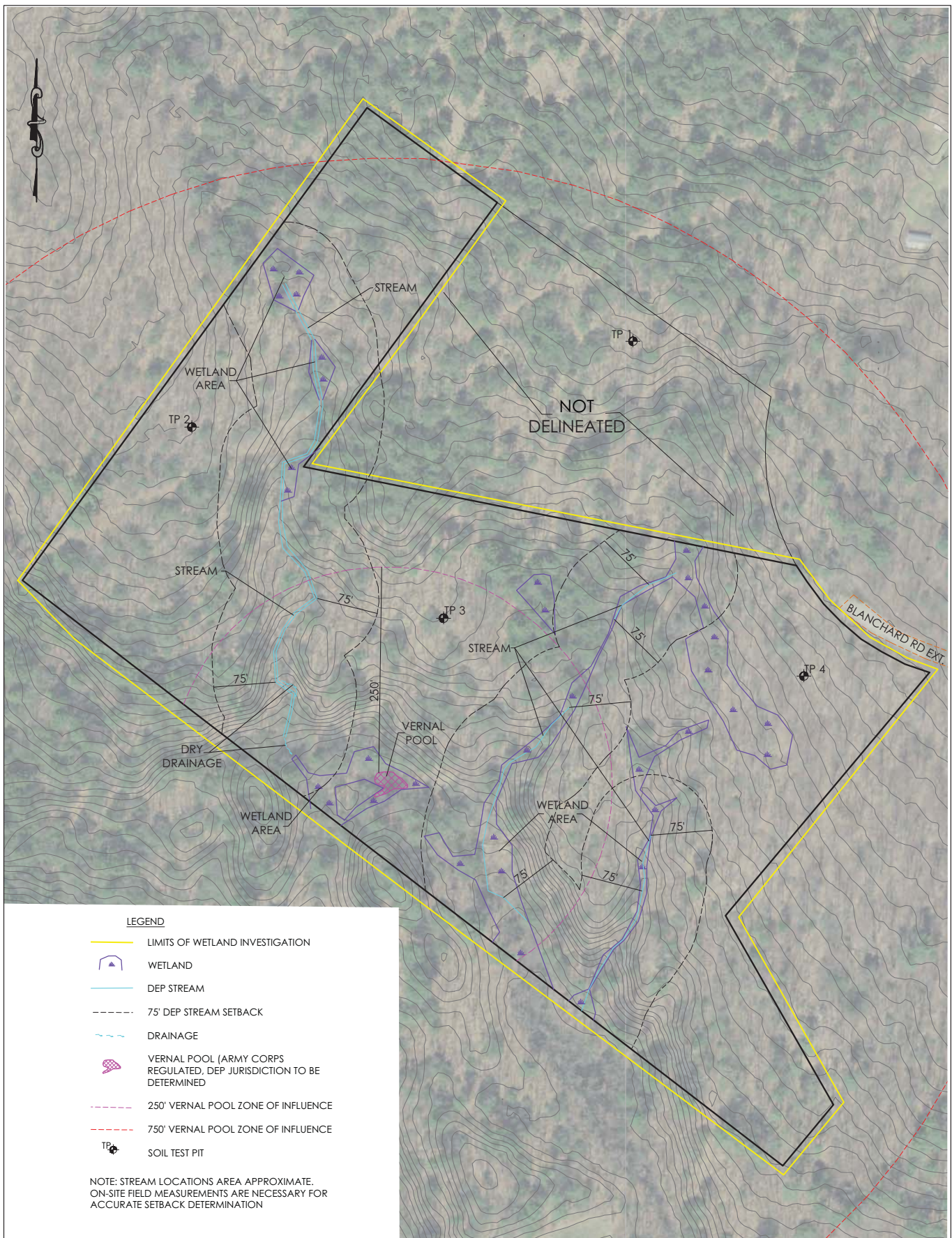
403

JUNE 2, 2020

Site Evaluator / Soil Scientist Signature

SE/CSS *

Date



LEGEND

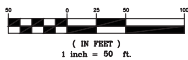
- LIMITS OF WETLAND INVESTIGATION
- WETLAND
- DEP STREAM
- 75' DEP STREAM SETBACK
- DRAINAGE
- ▨ VERNAL POOL (ARMY CORPS REGULATED, DEP JURISDICTION TO BE DETERMINED)
- 250' VERNAL POOL ZONE OF INFLUENCE
- 750' VERNAL POOL ZONE OF INFLUENCE
- TP ● SOIL TEST PIT

NOTE: STREAM LOCATIONS AREA APPROXIMATE.
ON-SITE FIELD MEASUREMENTS ARE NECESSARY FOR
ACCURATE SETBACK DETERMINATION

MAP COMPILED FROM:

- *TOWN OF CUMBERLAND TAX MAP
- *PORTION OF SURVEY PLAN PROVIDED BY OWNER
- *AERIAL PHOTOGRAPH FROM THE MAINE OFFICE OF GIS
- *2' TOPOGRAPHIC CONTOURS FROM THE MAINE OFFICE OF GIS
- *ON SITE LOCATIONS UTILIZING TRIMBLE GEO7X HANDHELD UNIT

GRAPHIC SCALE



DATE:	REVISIONS:

WETLAND DELINEATION PLAN
PREPARED FOR
NATE ROSS
(N/F PIAMPIANO)
BLANCHARD ROAD EXT
CUMBERLAND, MAINE



Albert Frick Associates, Inc.
Environmental Consultants
Gorham, Maine

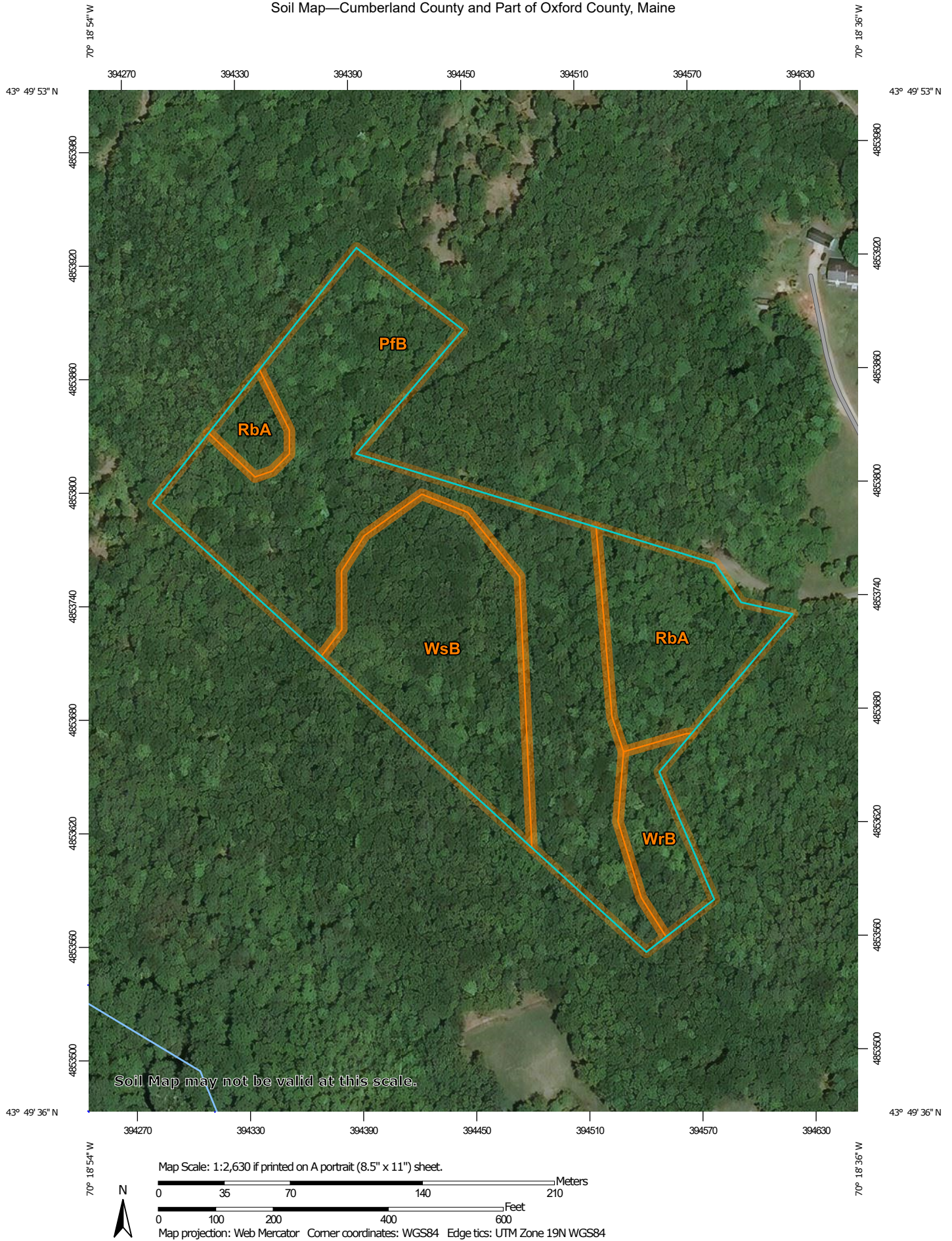
Drawn By: B.J.

Checked By: C.C.

Date: 5/8/2020

Scale: 1" = 50'

Soil Map—Cumberland County and Part of Oxford County, Maine



**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

7/25/2021
Page 1 of 3

MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)

Soils

Soil Map Unit Polygons

Soil Map Unit Lines

Soil Map Unit Points

Special Point Features

Blowout

Borrow Pit

Clay Spot

Closed Depression

Gravel Pit

Gravelly Spot

Landfill

Lava Flow

Marsh or swamp

Mine or Quarry

Miscellaneous Water

Perennial Water

Rock Outcrop

Saline Spot

Sandy Spot

Severely Eroded Spot

Sinkhole

Slide or Slip

Sodic Spot

Water Features

Streams and Canals

Transportation

Rails

Interstate Highways

US Routes

Major Roads

Local Roads

Background

Aerial Photography

Spoil Area

Spoil Spot

Very Stony Spot

Wet Spot

Other

Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
Survey Area Data: Version 17, Jun 5, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 7, 2019—Jul 2, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
PfB	Paxton very stony fine sandy loam, 3 to 8 percent slopes	6.3	51.7%
RbA	Ridgebury fine sandy loam, 0 to 3 percent slopes	2.1	17.5%
WrB	Woodbridge fine sandy loam, 0 to 8 percent slopes	0.7	6.1%
WsB	Woodbridge very stony fine sandy loam, 0 to 8 percent slopes	3.0	24.7%
Totals for Area of Interest		12.1	100.0%

Cumberland County and Part of Oxford County, Maine

PfB—Paxton very stony fine sandy loam, 3 to 8 percent slopes

Map Unit Setting

National map unit symbol: bljj

Elevation: 10 to 2,500 feet

Mean annual precipitation: 34 to 50 inches

Mean annual air temperature: 37 to 46 degrees F

Frost-free period: 60 to 160 days

Farmland classification: Not prime farmland

Map Unit Composition

Paxton and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Paxton

Setting

Landform: Drumlinoid ridges

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Interfluve, crest

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Coarse-loamy lodgment till derived from mica schist

Typical profile

Oa - 0 to 2 inches: highly decomposed plant material

H1 - 2 to 8 inches: fine sandy loam

H2 - 8 to 20 inches: fine sandy loam

H3 - 20 to 65 inches: fine sandy loam

Properties and qualities

Slope: 3 to 8 percent

Surface area covered with cobbles, stones or boulders: 1.6 percent

Depth to restrictive feature: 18 to 40 inches to densic material

Drainage class: Well drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately low to moderately high (0.06 to 0.60 in/hr)

Depth to water table: About 30 to 42 inches

Frequency of flooding: None

Frequency of ponding: None

Available water capacity: Low (about 3.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: C

Hydric soil rating: No

Minor Components

Tunbridge

Percent of map unit: 4 percent

Landform: Drumlinoid ridges

Landform position (two-dimensional): Shoulder

Landform position (three-dimensional): Crest

Down-slope shape: Convex

Across-slope shape: Linear

Hydric soil rating: No

Hollis

Percent of map unit: 4 percent

Landform: Drumlinoid ridges

Landform position (two-dimensional): Summit, shoulder

Landform position (three-dimensional): Interfluvium, crest

Down-slope shape: Convex

Across-slope shape: Convex

Hydric soil rating: No

Colonel

Percent of map unit: 2 percent

Landform: Drumlinoid ridges, till plains

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Convex

Across-slope shape: Linear

Hydric soil rating: No

Woodbridge

Percent of map unit: 2 percent

Landform: Drumlinoid ridges

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Concave

Across-slope shape: Linear

Hydric soil rating: No

Ridgebury

Percent of map unit: 2 percent

Landform: Drumlinoid ridges

Landform position (two-dimensional): Footslope

Landform position (three-dimensional): Base slope

Down-slope shape: Concave

Across-slope shape: Concave

Hydric soil rating: Yes

Paxton, slopes >8%

Percent of map unit: 1 percent

Landform: Drumlinoid ridges

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Nose slope

Down-slope shape: Linear
Across-slope shape: Convex
Hydric soil rating: No

Data Source Information

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
Survey Area Data: Version 17, Jun 5, 2020

Cumberland County and Part of Oxford County, Maine

RbA—Ridgebury fine sandy loam, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: bljs

Elevation: 0 to 2,500 feet

Mean annual precipitation: 28 to 48 inches

Mean annual air temperature: 37 to 52 degrees F

Frost-free period: 80 to 195 days

Farmland classification: Not prime farmland

Map Unit Composition

Ridgebury and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Ridgebury

Setting

Landform: Till plains

Landform position (two-dimensional): Toeslope

Landform position (three-dimensional): Talf

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Coarse-loamy lodgment till derived from mica schist

Typical profile

H1 - 0 to 6 inches: fine sandy loam

H2 - 6 to 18 inches: fine sandy loam

H3 - 18 to 65 inches: fine sandy loam

Properties and qualities

Slope: 0 to 3 percent

Depth to restrictive feature: 10 to 20 inches to densic material

Drainage class: Poorly drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately low to moderately high (0.06 to 0.60 in/hr)

Depth to water table: About 0 to 12 inches

Frequency of flooding: None

Frequency of ponding: None

Available water capacity: Low (about 3.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: C/D

Hydric soil rating: Yes

Minor Components

Colonel

Percent of map unit: 6 percent
Landform: Drumlinoid ridges, till plains
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Side slope
Down-slope shape: Convex
Across-slope shape: Linear
Hydric soil rating: No

Peru

Percent of map unit: 4 percent
Landform: Till plains
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Talf
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Sebago

Percent of map unit: 3 percent
Landform: Bogs
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: Yes

Whitman

Percent of map unit: 1 percent
Landform: Till plains
Landform position (two-dimensional): Toeslope
Landform position (three-dimensional): Talf
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Rock outcrop

Percent of map unit: 1 percent
Landform: Till plains
Landform position (two-dimensional): Summit
Landform position (three-dimensional): Talf
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Data Source Information

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
Survey Area Data: Version 17, Jun 5, 2020

Cumberland County and Part of Oxford County, Maine

WrB—Woodbridge fine sandy loam, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: blkf

Elevation: 0 to 3,500 feet

Mean annual precipitation: 34 to 50 inches

Mean annual air temperature: 37 to 46 degrees F

Frost-free period: 90 to 160 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Woodbridge and similar soils: 86 percent

Minor components: 14 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Woodbridge

Setting

Landform: Till plains

Landform position (two-dimensional): Shoulder, backslope

Landform position (three-dimensional): Crest, side slope

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Coarse-loamy lodgment till derived from mica schist

Typical profile

H1 - 0 to 3 inches: fine sandy loam

H2 - 3 to 20 inches: fine sandy loam

H3 - 20 to 65 inches: fine sandy loam

Properties and qualities

Slope: 0 to 8 percent

Depth to restrictive feature: 16 to 36 inches to densic material

Drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately low to moderately high (0.06 to 0.60 in/hr)

Depth to water table: About 18 to 30 inches

Frequency of flooding: None

Frequency of ponding: None

Available water capacity: Very low (about 2.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: C

Hydric soil rating: No

Minor Components

Colonel

Percent of map unit: 6 percent
Landform: Drumlinoid ridges, till plains
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Side slope
Down-slope shape: Convex
Across-slope shape: Linear
Hydric soil rating: No

Paxton

Percent of map unit: 3 percent
Landform: Till plains
Landform position (two-dimensional): Shoulder, backslope
Landform position (three-dimensional): Nose slope
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Ridgebury

Percent of map unit: 3 percent
Landform: Till plains
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Berkshire

Percent of map unit: 2 percent
Landform: Till plains
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Nose slope
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Data Source Information

Soil Survey Area: Cumberland County and Part of Oxford County, Maine
Survey Area Data: Version 17, Jun 5, 2020

Cumberland County and Part of Oxford County, Maine

WsB—Woodbridge very stony fine sandy loam, 0 to 8 percent slopes

Map Unit Setting

National map unit symbol: blkh

Elevation: 10 to 2,500 feet

Mean annual precipitation: 34 to 49 inches

Mean annual air temperature: 37 to 46 degrees F

Frost-free period: 90 to 160 days

Farmland classification: Not prime farmland

Map Unit Composition

Woodbridge and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Woodbridge

Setting

Landform: Till plains

Landform position (two-dimensional): Shoulder, backslope

Landform position (three-dimensional): Crest, side slope

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Coarse-loamy lodgment till derived from mica schist

Typical profile

Oa - 0 to 2 inches: highly decomposed plant material

H1 - 2 to 5 inches: fine sandy loam

H2 - 5 to 22 inches: fine sandy loam

H3 - 22 to 65 inches: fine sandy loam

Properties and qualities

Slope: 0 to 8 percent

Surface area covered with cobbles, stones or boulders: 1.6 percent

Depth to restrictive feature: 16 to 36 inches to densic material

Drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water

(Ksat): Moderately low to moderately high (0.06 to 0.60 in/hr)

Depth to water table: About 18 to 30 inches

Frequency of flooding: None

Frequency of ponding: None

Available water capacity: Low (about 3.5 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: C

Hydric soil rating: No

Minor Components

Colonel

Percent of map unit: 8 percent
Landform: Drumlinoid ridges, till plains
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Side slope
Down-slope shape: Convex
Across-slope shape: Linear
Hydric soil rating: No

Ridgebury

Percent of map unit: 3 percent
Landform: Till plains
Landform position (two-dimensional): Footslope
Landform position (three-dimensional): Base slope
Down-slope shape: Concave
Across-slope shape: Concave
Hydric soil rating: Yes

Paxton

Percent of map unit: 3 percent
Landform: Till plains
Landform position (two-dimensional): Shoulder, backslope
Landform position (three-dimensional): Crest, nose slope
Down-slope shape: Convex
Across-slope shape: Convex
Hydric soil rating: No

Woodbridge, slopes >8%

Percent of map unit: 1 percent
Landform: Till plains
Landform position (two-dimensional): Backslope
Landform position (three-dimensional): Side slope
Down-slope shape: Linear
Across-slope shape: Linear
Hydric soil rating: No

Data Source Information

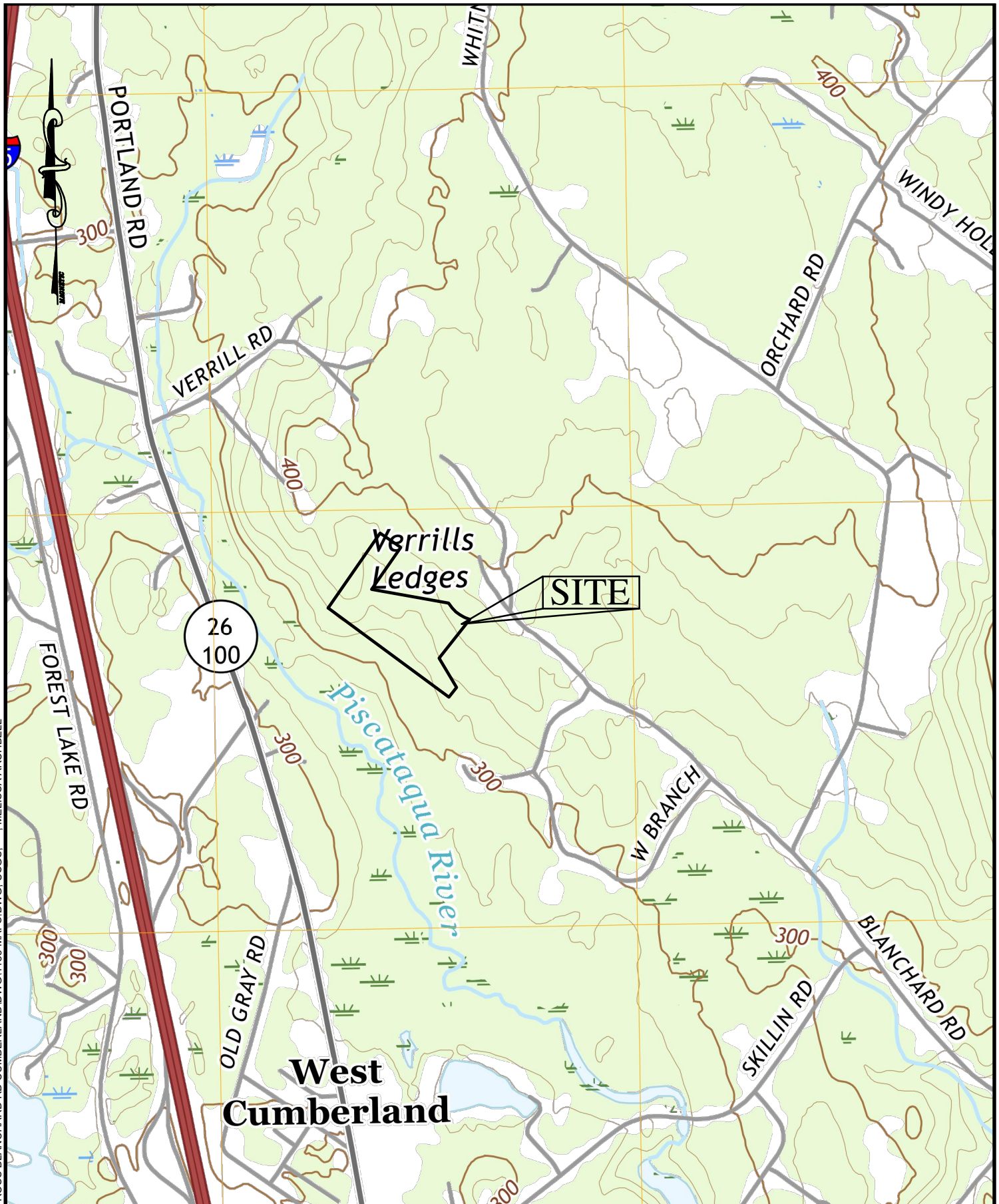
Soil Survey Area: Cumberland County and Part of Oxford County, Maine
Survey Area Data: Version 17, Jun 5, 2020

Attachment D **Supporting Graphics**

This attachment includes supporting materials and graphics for the application. An excerpt of the applicable USGS 7.5 minute quadrangle map is provided for reference, as well as reduced size copies of the tax map and zoning map. Also included is an excerpt of the FEMA flood rate insurance map (FIRM).

D

Supporting Graphics



X:\LAND PROJECTS\4185 ROSS BLANCHARD RD CUMBERLAND\DWG\4185 MAPS.DWG, USGS, ----, MELISSA ARCHBELL

SHEET: 1 OF 1

SITELINES

119 PURINTON ROAD, SUITE A
BRUNSWICK, ME 04011
207.725.1200



CIVIL ENGINEERS • LAND SURVEYORS

USGS LOCATION MAP

ROSS ESTATES

STONEWOOD LAND, LLC

BLANCHARD ROAD EXT., CUMBERLAND, ME

DATE: 07-27-21

SCALE: 1" = 1000'

JOB: 4185

FILE: 4185 MAPS

Cumberland Center Quadrangle, Maine

Compiled by
Craig D. Neil
Preliminary aquifer boundaries mapped by:
Daniel B. Locke



Digital cartography by:
Michael E. Foley

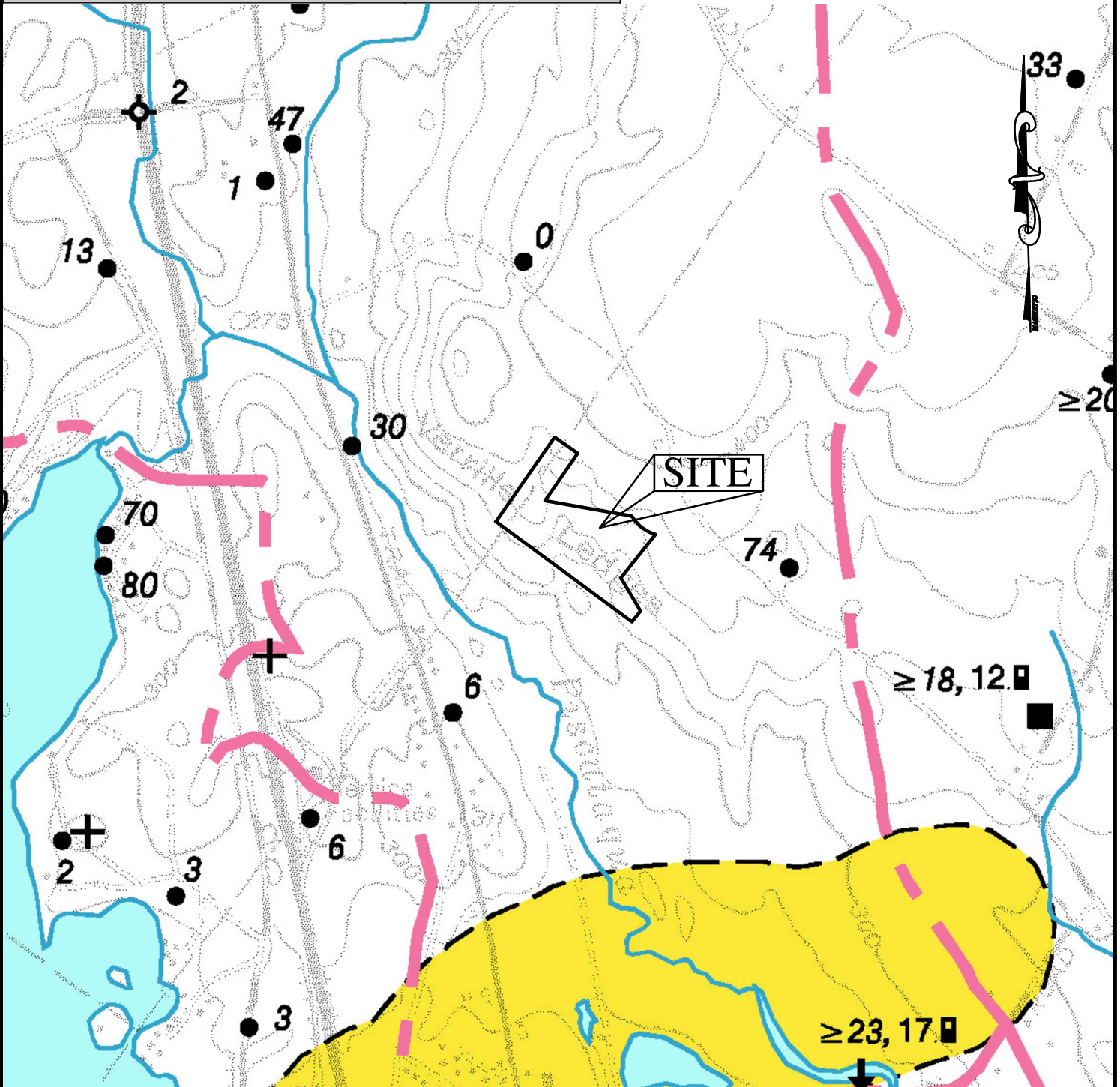
Robert G. Marvinney
State Geologist

Cartographic design and editing by:
Robert D. Tucker
Bennett J. Wilson, Jr.

Funding for the preparation of this map was provided in part by the
Maine Department of Environmental Protection.

SIGNIFICANT SAND AND GRAVEL AQUIFERS (yields greater than 10 gallons per minute)

- Approximate boundary of surficial deposits with significant saturated thickness where potential ground-water yield is moderate to excellent.
-  Surficial deposits with good to excellent potential ground-water yield; yields generally greater than 50 gallons per minute to a properly constructed well. Deposits consist primarily of glacial sand and gravel, but can include areas of sandy till and alluvium; yield zones are based on subsurface data where available, and may vary from mapped extent in areas where data are unavailable.
-  Surficial deposits with moderate to good potential ground-water yield; yields generally greater than 10 gallons per minute to a properly constructed well. Deposits consist primarily of glacial sand and gravel, but can include areas of sandy till and alluvium; yields may exceed 50 gallons per minute in deposits hydraulically connected with surface-water bodies, or in extensive deposits where subsurface data are available.



SITELINES

119 PURINTON ROAD, SUITE A
BRUNSWICK, ME 04011
207.725.1200



CIVIL ENGINEERS ■ LAND SURVEYORS

SIGNIFICANT SAND & GRAVEL AQUIFER MAP

ROSS ESTATES

STONEWOOD LAND, LLC

BLANCHARD ROAD EXT., CUMBERLAND, ME

DATE: 07-27-21

SCALE: 1" = 1000'

JOB: 4185

FILE: 4185 MAPS

SHEET: 1 OF 1

X:\LAND PROJECTS\4185 ROSS BLANCHARD RD CUMBERLAND\DWG\4185 MAPS.DWG, SAND & GRAVEL, ----, MELISSA ARCHBELL

Cumberland Center Quadrangle, Maine

Surficial geologic mapping by
Michael J. Retelle

Digital cartography by:
Robert A. Johnston

Robert G. Marvinney
State Geologist

Cartographic design and editing by:
Robert D. Tucker

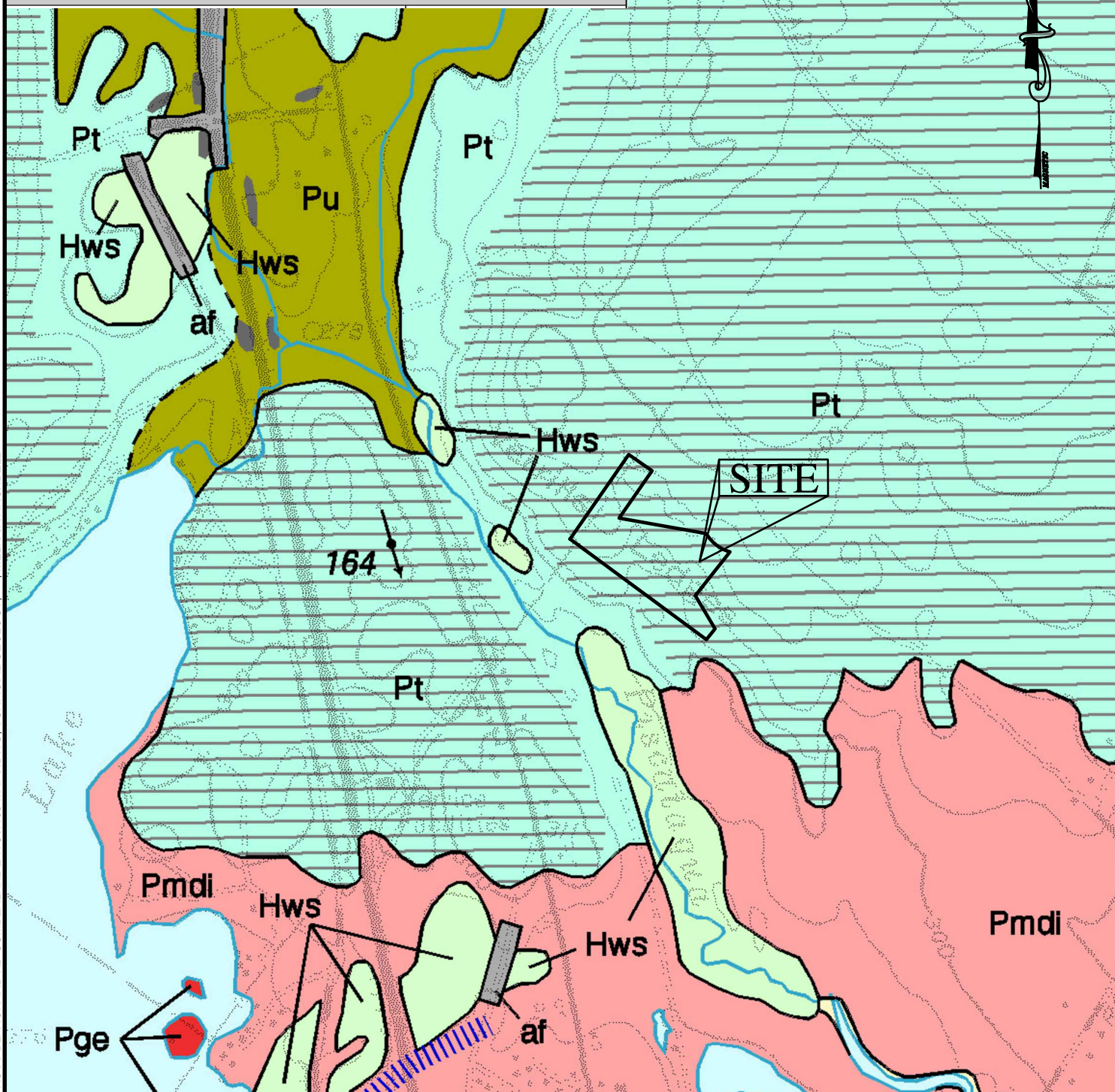
Funding for the preparation of this map was provided in part by the U.S. Geological Survey
Cooperative Geological Mapping (COGEMAP) Program, Cooperative Agreement No. 14-08-0001-A0520.

Pt

Till - Poorly sorted mixture of gravel, sand, silt, and clay deposited directly by the action of glacier ice.



Bedrock - Gray dots indicate individual outcrops of ledge exposed at the surface. Horizontal ruled pattern indicates areas where bedrock is covered by a thin veneer of surficial sediments.



X:\LAND PROJECTS\4185 ROSS BLANCHARD RD CUMBERLAND\DWG\4185 MAPS.DWG, SURFICIAL GEOLOGY, ---, MELISSA ARCHBELL

SHEET: 1 OF 1

SITELINES

119 PURINTON ROAD, SUITE A
BRUNSWICK, ME 04011
207.725.1200



CIVIL ENGINEERS ■ LAND SURVEYORS

SURFICIAL GEOLOGY MAP

ROSS ESTATES

STONEWOOD LAND, LLC

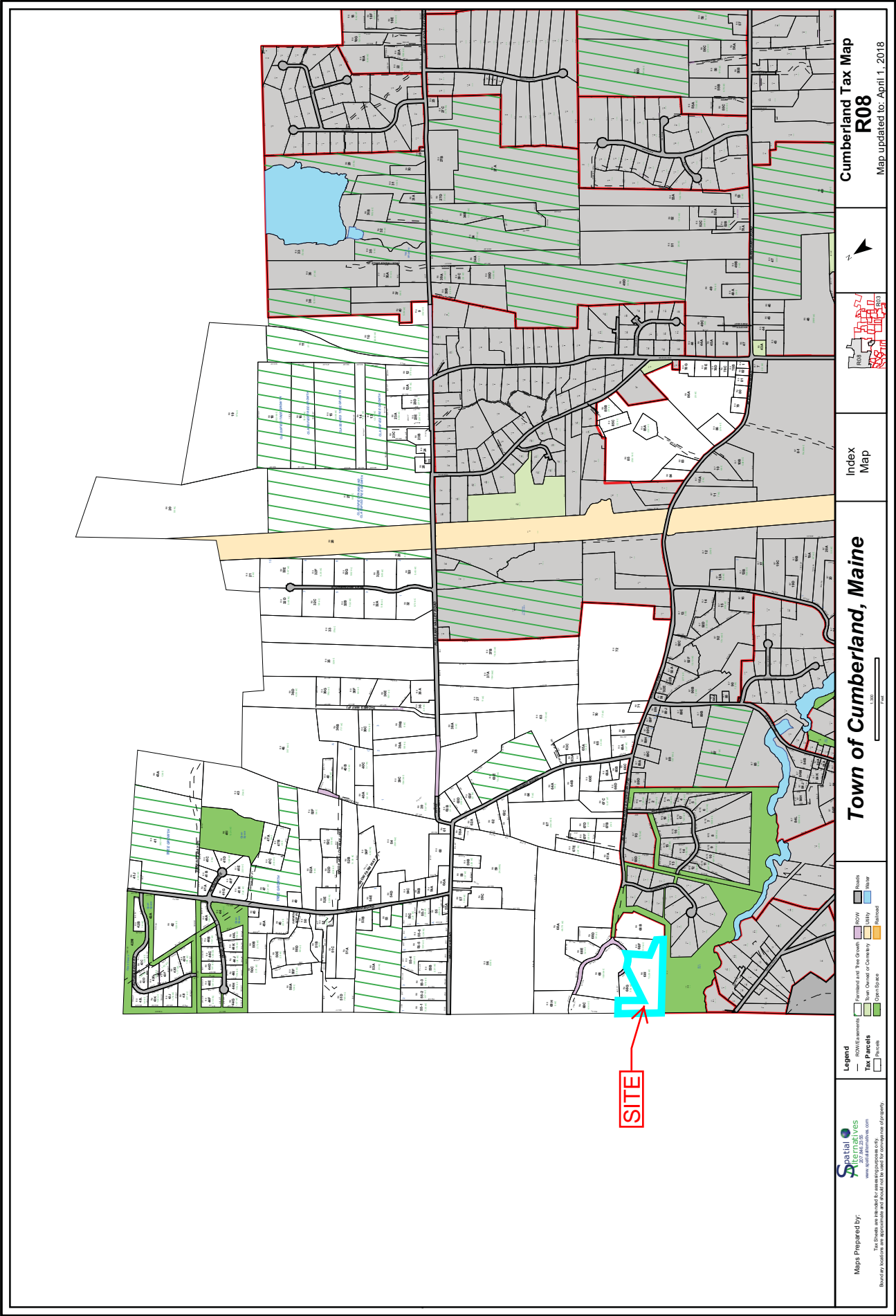
BLANCHARD ROAD EXT., CUMBERLAND, ME

DATE: 07-27-21

SCALE: 1" = 1000'

JOB: 4185

FILE: 4185 MAPS

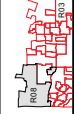


Maps Prepared by:
Spatial Alternatives
207.666.2839
www.spatialalternatives.com
The Shaded are intended for planning purposes only.
Boundary locations are approximate and should not be used for conveyance of property.

Legend
— 2018 Assessment
— 2017 Assessment
Tax Parcels
Forest
Open Space
Town Owned or Community
Water
Road
Railroad

Town of Cumberland, Maine

Index
Map



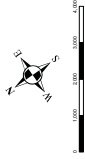
Cumberland Tax Map
R08
Map updated to: April 1, 2018

Official Zoning Map Cumberland, Maine


I certify this to be a true copy of the
Official Zoning Map as amended by
vote of the Town Council.

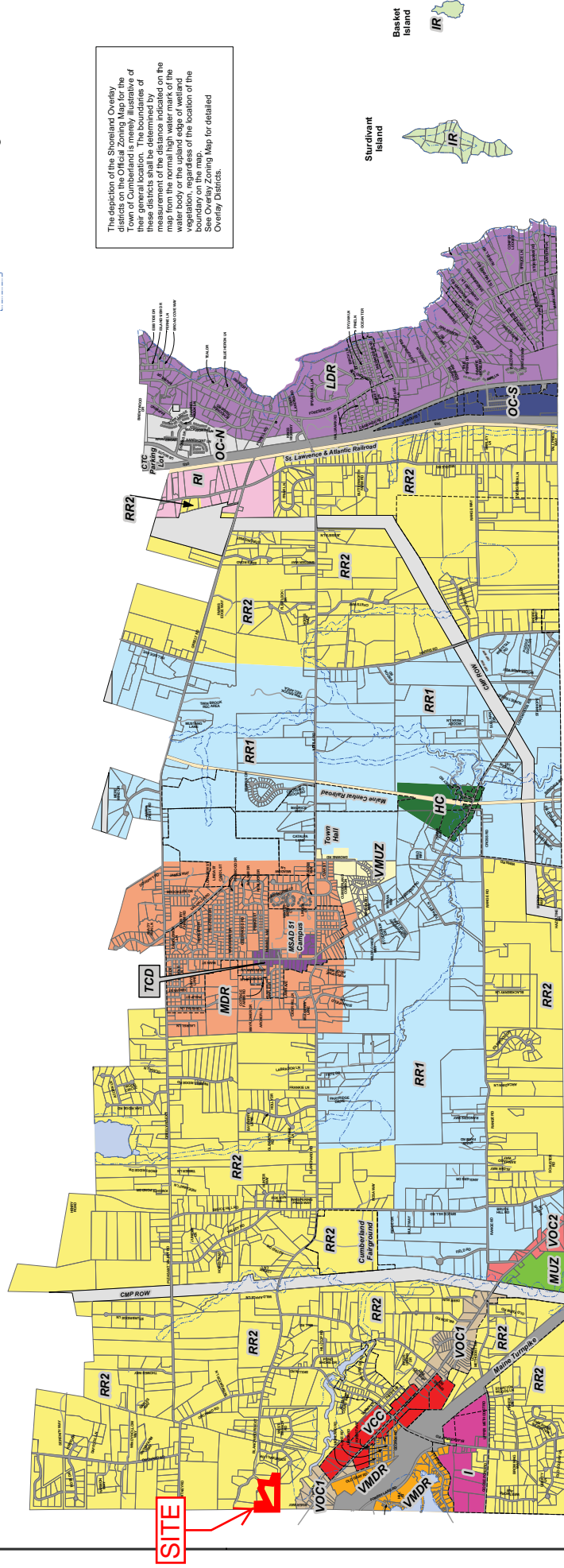
Town Clerk

Adopted: 01/25/1999
Amended: 04/30/2008
Amended: 02/23/2009
Amended: 09/17/2015
Amended: 05/05/2016
Amended: 10/10/2011
Amended: 05/05/2017
Amended: 10/08/2012
Amended: 12/10/2018
Amended: 02/25/2013
Amended: 01/14/2019
Amended: 01/23/2015



Map Printed: 04/24/2019

- | | | |
|---|---|--|
|  Town Center District |  Village Center Commercial |  Rural Residential 2 |
|  Industrial |  Village Office Commercial 1 |  Medium Density Residential |
|  Rural Industrial |  Village Office Commercial 2 |  Village Medium Density Residential |
|  Highway Commercial |  Village Mixed Use |  Low Density Residential |
|  Office Commercial (North) |  Mixed Use |  Island Residential |
|  Office Commercial (South) |  Rural Residential 1 |  Overlay Zones |
| | |  Shoreland Zoning |




















The decision of the Shoreland Overlay districts on the Official Zoning Map for the Town of Cumberland is merely illustrative of their general location. The boundaries of the districts are not to be construed as a measurement of the distance indicated on the map from the normal high water mark of the water body or the upland edge of wetland. The boundaries of the districts are not to be construed as a measurement of the location of the boundary on the map. See Overlay Zoning Map for detailed Overlay Districts.

Official Overlay Zoning Map Cumberland, Maine

I certify this to be a true copy of the
Official Zoning Map as amended by
vote of the Town Council.

Town Clerk

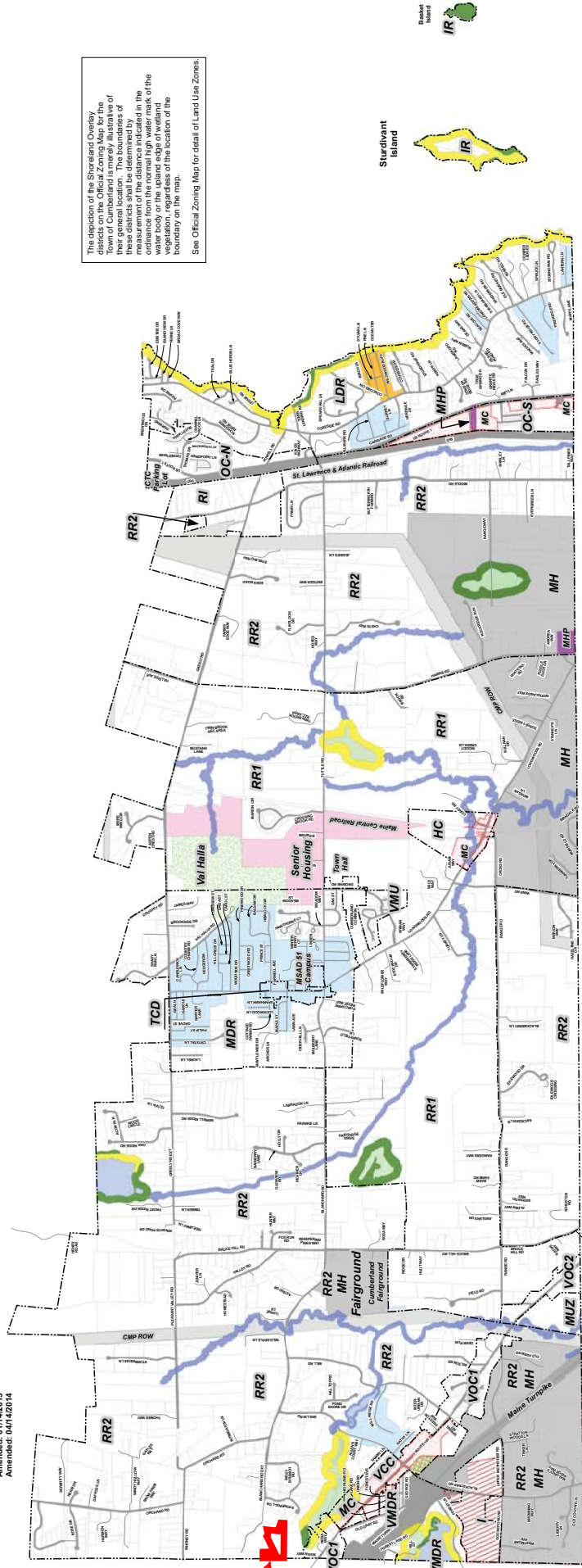
Adopted: 01/25/1999
Amended: 08/15/2015
Amended: 07/24/2017
Amended: 05/22/2009
Amended: 04/11/2011
Amended: 12/10/2018
Amended: 10/10/2011
Amended: 04/11/2019
Amended: 06/17/2013
Amended: 01/14/2013
Amended: 04/14/2014

- | | | | |
|--|---|---|---|
|  West Cumberland Field Rec Facility Overlay |  Senior Housing |  Shoreland Overlay Zones |  General Development |
|  Setback Overlay 1 |  West Cumberland Housing |  Limited Residential |  Resource Protection |
|  Setback Overlay 2 |  Medical Caregiver (MC) |  Stream Protection |  Wetlands |
|  Manufactured Housing (MH) |  Fairgrounds Overlay |  Val Halla Golf & Rec Center Overlay | |
|  Mobile Home Park (MHP) |  Land Use Zones | | |



0 1,000 2,000 3,000 4,000
Feet

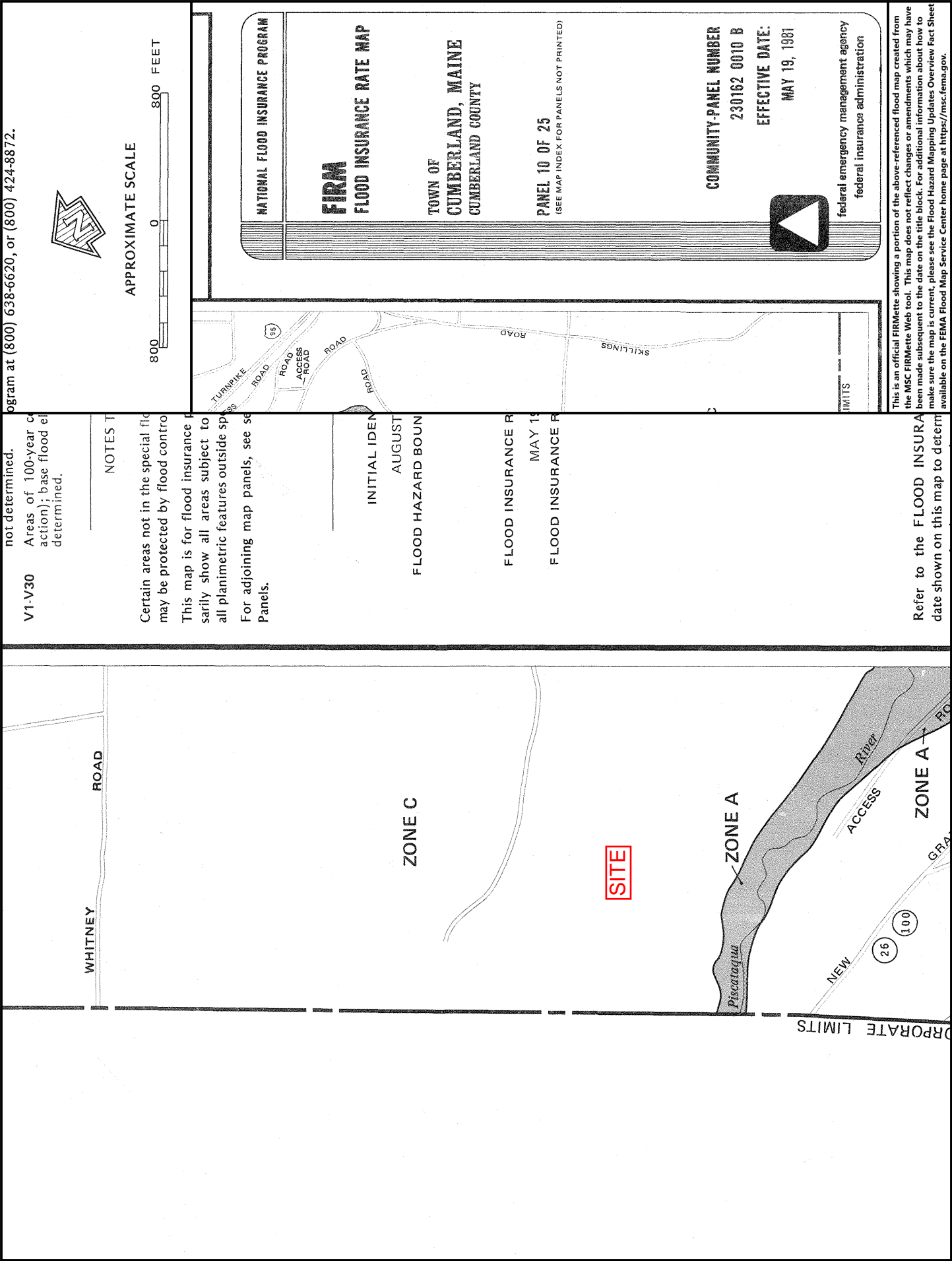
Map Printed: 04/24/2019



The depiction of the Shoreland Overlay districts on the Official Zoning Map for the town of Cumberland, Maine, is based on the best available information. The boundaries of these districts shall be determined by the town engineer or other qualified person, and shall be subject to change if the water body or the upland edge of wetland vegetation, regardless of the location of the boundary on the map.

SITE





not determined.
Areas of 100-year flood action; base flood elevation determined.

V1-V30

NOTES

Certain areas not in the special flood hazard zone may be protected by flood control levees. This map is for flood insurance purposes and does not show all areas subject to flood. For adjoining map panels, see adjacent panels.

INITIAL IDENTIFICATION

AUGUST 1981

FLOOD HAZARD BOUNDARIES

FLOOD INSURANCE RATES

MAY 1981

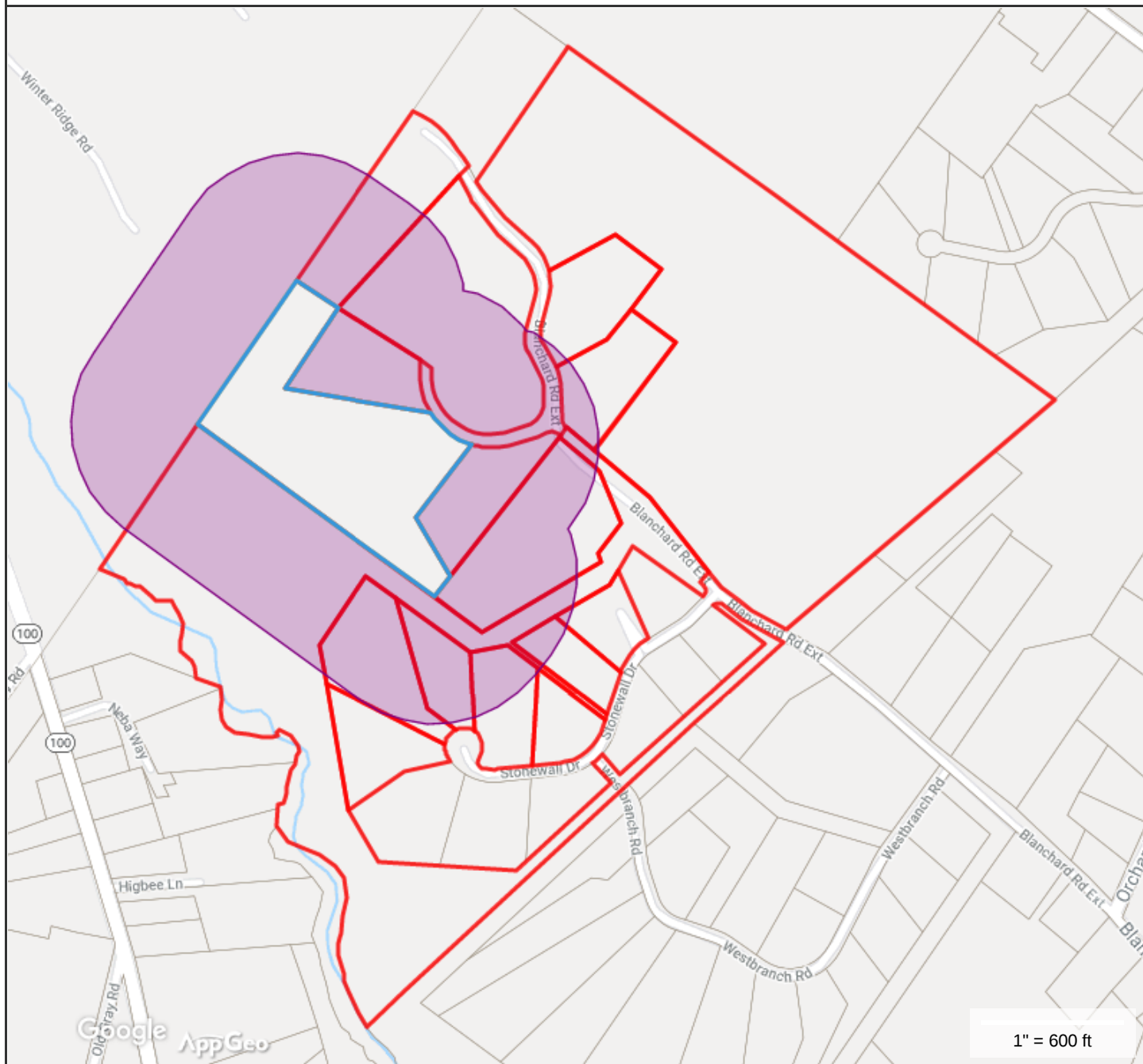
FLOOD INSURANCE RATES

SITE

ZONE A

ZONE A

Refer to the FLOOD INSURANCE RATE MAP for the date shown on this map to determine the effective date of the flood insurance rate.

**Property Information**

Property ID 0R08 006810000
Location BLANCHARD RD EXT
Owner PIAMPIANO ROBERT J

**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

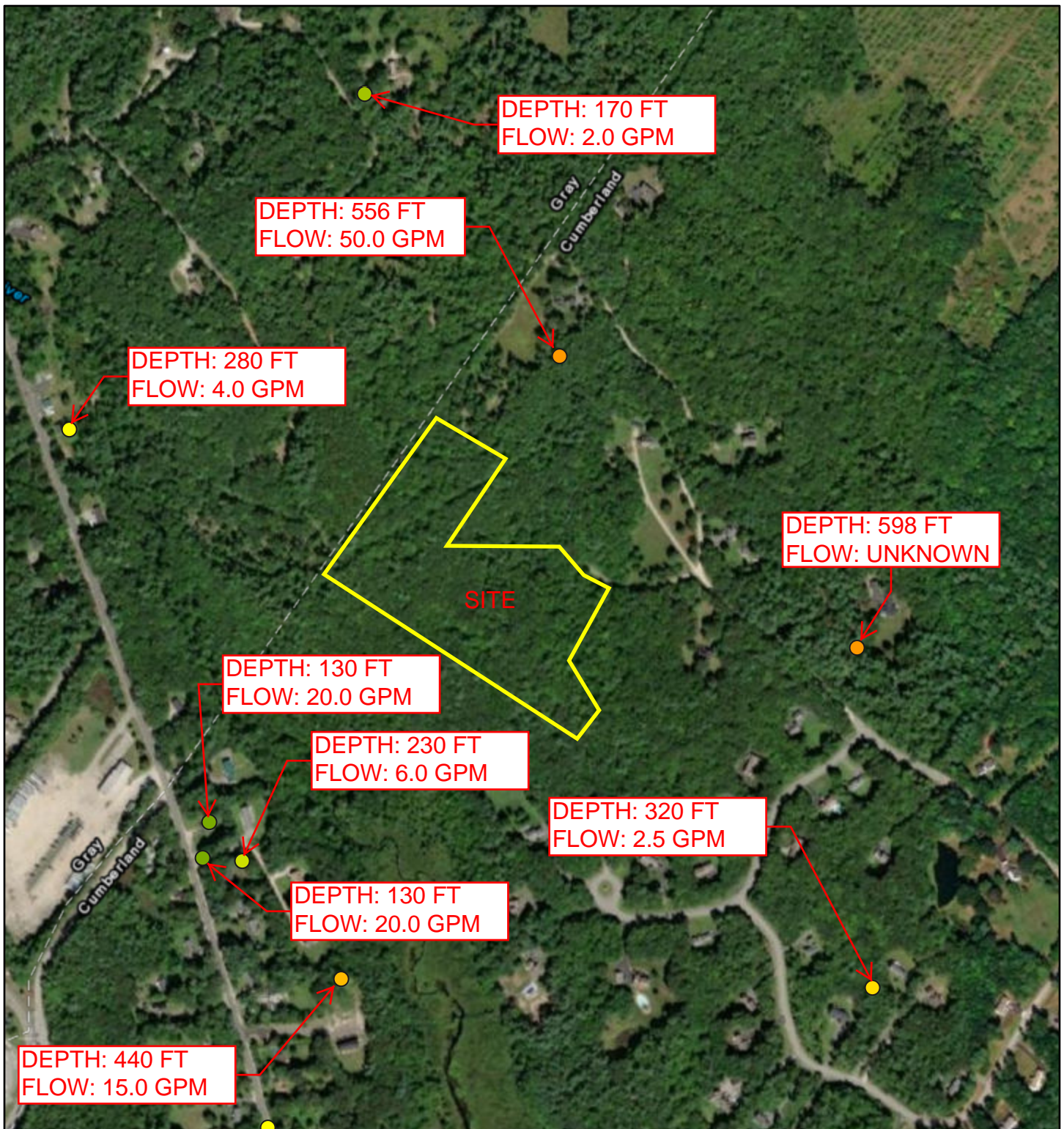
Town of Cumberland, ME makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 6/10/2020
Data updated monthly (see property record card)

500-ft Abutters
Proposed Subdivision
Ross Estates, Blanchard Road Extension, Cumberland

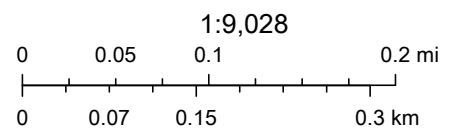
ID	Site Address	Owner Name	Co-Owner Name	Owner Address	Owner City	Owner State	Owner Zip
	372 BLANCHARD ROAD	FRIEDMAN PAUL D	FRIEDMAN LAURA S	372 BLANCHARD ROAD	CUMBERLAND	ME	04021
	365 BLANCHARD RD	MCCORMACK SUZANNE L - TRUSTEE*		365 BLANCHARD ROAD	CUMBERLAND CTR	ME	04021
	366 BLANCHARD ROAD	JONES CASSANDRA M	JONES SCOTT A	366 BLANCHARD ROAD EXT	CUMBERLAND	ME	04021-3211
	412 BLANCHARD RD EXT	BRIGGS RICHARD H	LOWERY MARY A	412 BLANCHARD ROAD EXT	CUMBERLAND	ME	04021
	371 BLANCHARD ROAD	KALINICH BEATRICE	KALINICH JEFFREY	371 BLANCHARD ROAD	CUMBERLAND	ME	04021
	379 BLANCHARD ROAD	WILDES BRUCE S	WILDES NANCY J S	P O BOX 54	CUMBERLAND	ME	04021
	BLANCHARD RD	YOVINO, SETH J		16 HATHORN POINT RD	TENANTS HARBOR	ME	04860
	BLANCHARD RD	PIAPIANO BRENDA T		3 HIGH STREET	BRUNSWICK	ME	04011-1909
	58 STONEWALL DRIVE	BARTO L CASEY	BARTO D ALISON	58 STONEWALL DR	CUMBERLAND	ME	04021
	60 STONEWALL DRIVE	BECHEN, JAMES L	BECHEN, LAUREN L	60 STONEWALL DRIVE	CUMBERLAND	ME	04021
	57 STONEWALL DRIVE	CLARK BRADLEY C	CLARK ELIZABETH M	57 STONEWALL DRIVE	CUMBERLAND	ME	04021
	45 STONEWALL DRIVE	ZAMBERNARDI AILEEN M		45 STONEWALL DRIVE	CUMBERLAND	ME	04021
	BLANCHARD RD EXT	CHASE CUSTOM HOMES + FINANCE INC		290 BRIDGTON ROAD SUITE 2	WESTBROOK	ME	04092
	33 STONEWALL DRIVE	AUFIERO LARRY J	AUFIERO CHRISTINE	33 STONEWALL DRIVE	CUMBERLAND CTR	ME	04021
	21 STONEWALL DRIVE	MARCIULIONIS, VYTAUTAS	LANCARICOVA, LENKA	21 STONEWALL DR	CUMBERLAND CTR	ME	04021
	15 STONEWALL DRIVE	PETZAL DAVID E	PETZAL ARLENE A	15 STONEWALL DRIVE	CUMBERLAND	ME	04021

Maine Well Database - Ross Estates



5/11/2021, 10:17:12 AM

Well Depth (ft)			
100.1 - 150	150.1 - 200	200.1 - 250	250.1 - 300
		300.1 - 400	400.1 - 500
			500.1 - 600

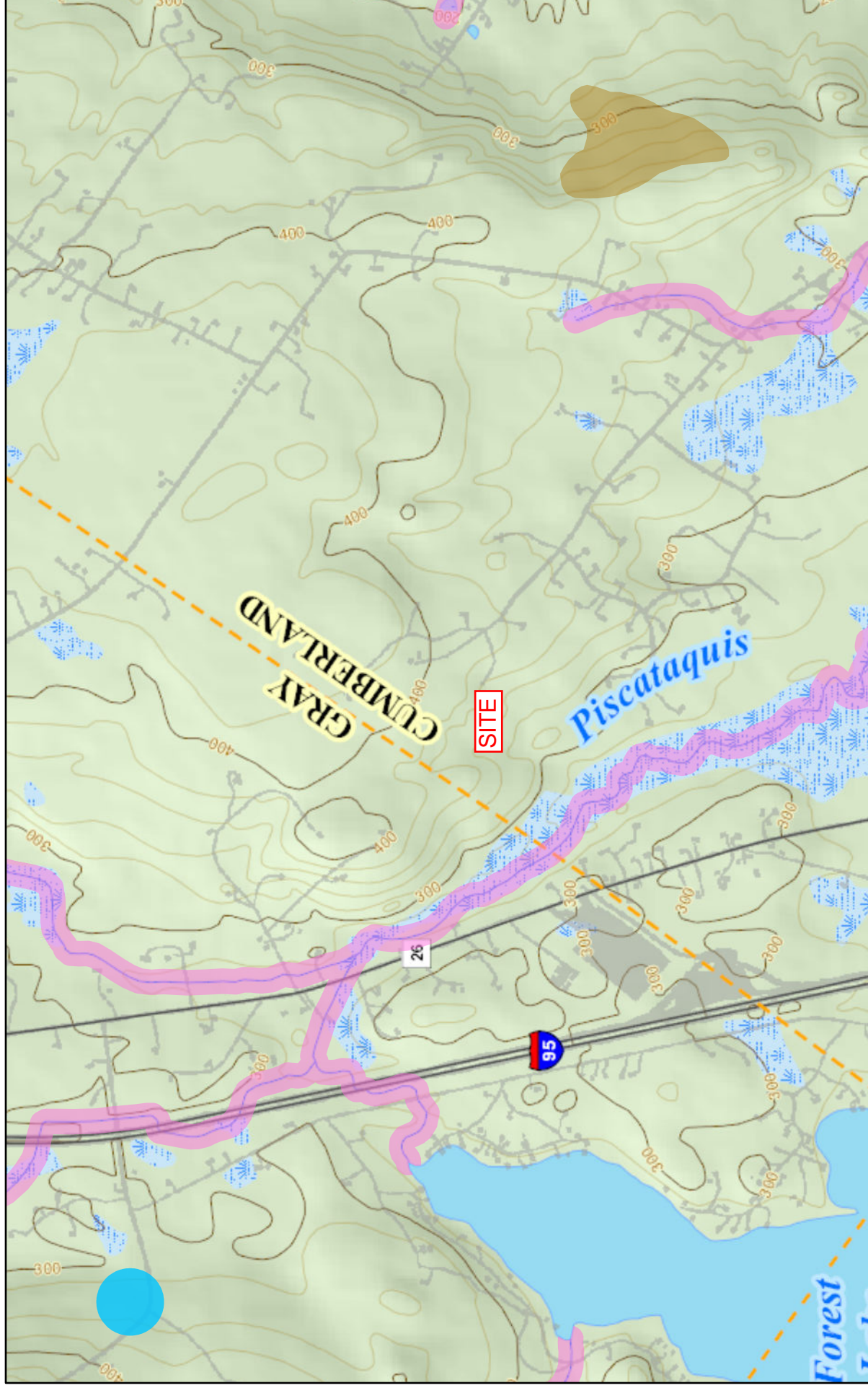


Esri, HERE, Garmin, IPC, Maxar

Conserved Land & Undeveloped Habitat - BWH



Beginning With Habitat



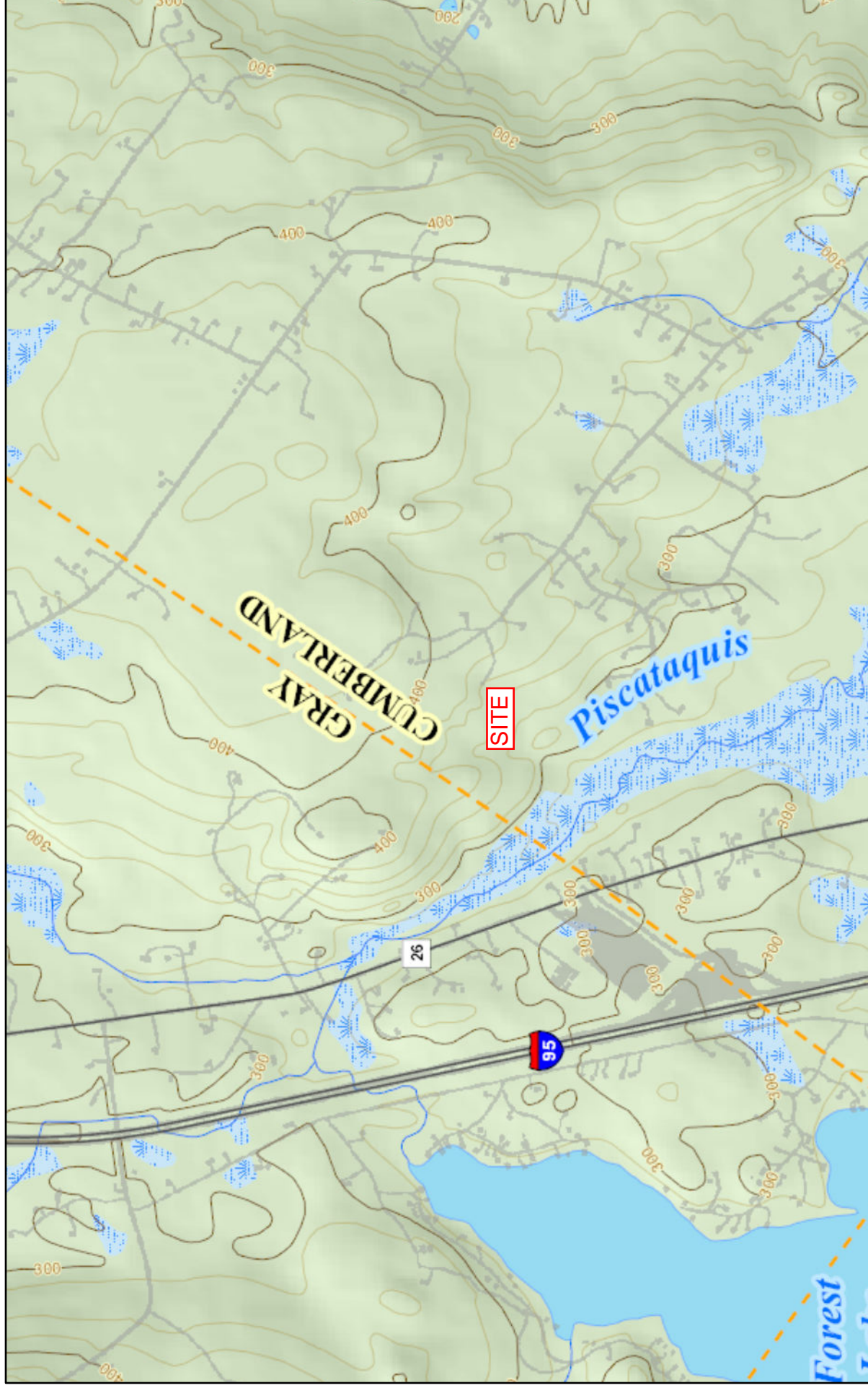
Plant & Animal Habitats

February 10, 2021

1:18,056

- Significant Vernal Pools
- Deer Wintering Areas
- btrout

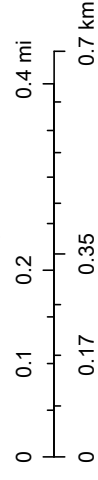
Beginning With Habitat



February 10, 2021

Riparian Habitats

1:18,056



Attachment E
Subdivision & Site Plans

The project plan set is included for review and copies have been provided as separate plan sets of full-size documents as required.

E

Subdivision & Site Plans

©2021, THE DRAWING IS THE PROPERTY AND INSTRUMENT OF SITELINES P.A. NO MODIFICATIONS OR CHANGES MAY BE MADE TO THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF SITELINES P.A. ANY MODIFICATION, CHANGE OR USE OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN PERMISSION OF SITELINES P.A. IS PROHIBITED AND IS AT THE USER'S RISK.

X:\LAND PROJECTS\184-186 ROSS BLANCHARD RD CUMBERLAND\DWG\184-186-COV-DET.DWG, COVER C1, 01/16/2021 10:22 PM, MELISSA ARCHIBELL

GENERAL NOTES:

1. DRAWINGS ARE BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION FROM MULTIPLE SOURCES.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. RIM ELEVATIONS OF PROPOSED SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.
4. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, CABLE AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER AND ARCHITECT.
5. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATIONS, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE CONSTRUCTION MANAGER REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
6. THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND GRADES BEFORE WORK BEGINS. CONTRACTOR SHALL CONFIRM LOCATION AND DEPTH ALL UTILITY LINE CROSSINGS WITH TEST PITS PRIOR TO BEGINNING WORK. CONFLICTS SHALL BE REPORTED IN WRITING TO CONSTRUCTION MANAGER FOR RESOLUTION OF THE CONFLICT.
7. ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 4 INCHES OF LOAM AND SEED.
8. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, CABLE, FIRE ALARM AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
9. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS AND AS SPECIFIED.
10. ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED LICENSED PROFESSIONAL LAND SURVEYOR (PLS) AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SURVEY SHOWING LOCATIONS OF ALL SURFACE FEATURES AND SUBSURFACE UTILITY SYSTEMS INCLUDING THE LOCATION TYPE, SIZE AND INVERTS.
11. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDING EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
12. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
13. ALL MATERIALS AND CONSTRUCTION METHODS USED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
14. THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.
15. ALL MATERIALS SHALL BE NEW AND PROVIDED BY THE CONTRACTOR.

LAYOUT NOTES:


1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR FOUNDATION.
2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
4. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.

GRADING AND DRAINAGE NOTES:

1. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
- POLYVINYL CHLORIDE PIPE (PVC) SDR 35
SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS OR SDR 35
2. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
3. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

PERMITTING REQUIREMENTS:

AGENCY:	PERMIT:	STATUS:
TOWN OF CUMBERLAND	SUBDIVISION APPROVAL BUILDING	PENDING (BY CONTRACTOR)
MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION	NRPA PBR	PENDING



CALL DIG SAFE

UTILITY LOCATION

1-888-344-7233

STATE LAW REQUIRES ADVANCE NOTICE OF
AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG,
GRADE OR EXCAVATE FOR THE MARKING
OF UNDERGROUND UTILITIES

MAJOR CONSERVATION SUBDIVISION
PRELIMINARY PLAN
ROSS ESTATES
BLANCHARD ROAD EXTENSION
CUMBERLAND, MAINE

PREPARED FOR:
STONEWOOD LAND, LLC
8 ROBERTS STREET, FALMOUTH, MAINE 04105

TOWN/UTILITY CONTACTS

CODE ENFORCEMENT

WILLIAM LONGLEY
TOWN OF CUMBERLAND
290 TUTTLE ROAD
CUMBERLAND, MAINE 04021
207-829-2207

ELECTRIC SERVICE

CENTRAL MAINE POWER
280 BATH ROAD
BRUNSWICK, MAINE 04011
207-721-8054

TELEPHONE SERVICE

FAIRPOINT
BATH ROAD (P.O. BOX 360)
BRUNSWICK, MAINE 04011
207-442-8018

CABLE SERVICE

COMCAST CONSTRUCTION OFFICE
336 BATH ROAD
BRUNSWICK, MAINE, 04011
207-729-6660

WATER SERVICE

PORTLAND WATER DISTRICT
225 DOUGLASS STREET
PO BOX 3553
PORTLAND, MAINE 04104

SANITARY SEWER

TOWN OF CUMBERLAND
WILLIAM SHANE, P.E., TOWN MANAGER
290 TUTTLE ROAD
CUMBERLAND, MAINE 04021
207-829-2205

PUBLIC WORKS DEPARTMENT

CHRISTOPHER BOLDUC, PUBLIC SERVICES DIRECTOR
290 TUTLE ROAD
CUMBERLAND, MAINE 04021
207-829-2220

CUMBERLAND FIRE DEPARTMENT

DANIEL SMALL, FIRE CHIEF
366 TUTTLE ROAD
CUMBERLAND, MAINE 04021
207-829-5421

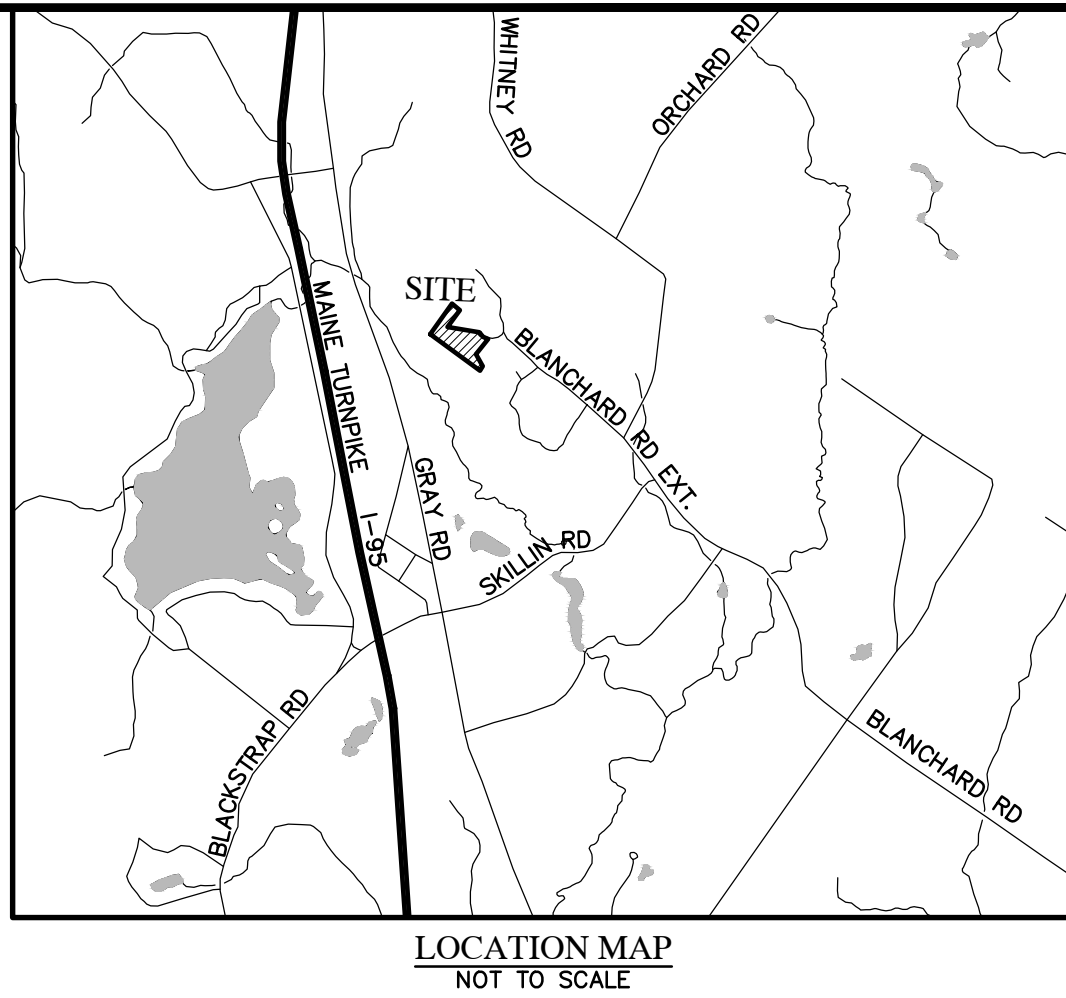
CIVIL ENGINEER

SITELINES P.A.
ATTN: CURTIS Y. NEUFELD, P.E.
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207-725-1200
WWW.SITELINESPA.COM

























































PROJECT TEAM

SURVEYOR

SITELINES P.A.
ATTN: KEVIN CLARK, P.L.S.
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207-725-1200
WWW.SITELINESPA.COM

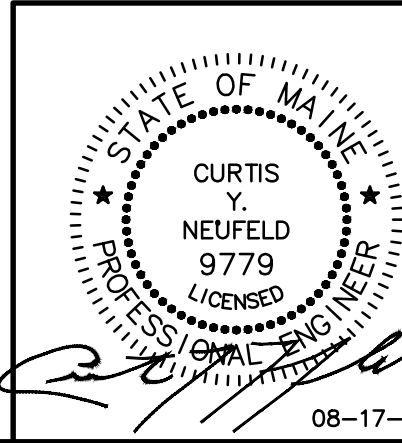


LEGEND

EXISTING		PROPOSED
	IRON MARKER FOUND	
	5/8" REBAR TOPPED WITH AN ALUMINUM I.D. CAP	
	CATCH BASIN	
	SEWER MANHOLE	
	FIRE HYDRANT	
	WATER GATE VALVE	
	WATER SHUT-OFF	
	BLOW-OFF/CLEAN-OUT	
	UTILITY POLE	
	UTILITY LINE	
	PROPERTY LINE	
	EASEMENTS	
	SETBACK/BUFFER	
	STREAM	
	CURB	
	EDGE OF PAVEMENT	
	BUILDING	
	STORM DRAIN(SEE PLAN FOR SIZE)	
	SEWER LINE(SEE PLAN FOR SIZE)	
	WATER LINE(SEE PLAN FOR SIZE)	
	UNDERDRAIN(SEE PLAN FOR SIZE)	
	SLOPE ARROW	
	CONTOURS	
	TREE LINE	
	SEDIMENT BARRIER	
	RIPRAP	
	PROPOSED PAVEMENT	
	SPOT GRADE	

SHEET INDEX		
SHEET #	SHEET TITLE:	SCALE:
C1	COVER SHEET	NTS
C2	EXISTING CONDITIONS PLAN	1"=60'
C3	SUBDIVISION PLAN	1"=60'
C4	SITE DEVELOPMENT PLAN	1"=40'
C5	PLAN & PROFILE, BLANCHARD ROAD EXTENSION SECTIONS A & C	VARIES
C6	PLAN & PROFILE, ESTELLA'S WAY	VARIES
C7	EROSION CONTROL PLAN	1"=30'
C8	EROSION CONTROL NOTES	NTS
C9	SITE DEVELOPMENT DETAILS	NTS

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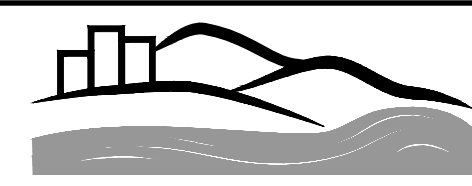
ISSUED FOR:
PERMITTING REVIEW

1. 08-17-21 SUBMITTED TO TOWN FOR PRELIMINARY SUB. REVIEW

TITLE:
COVER SHEET

PROJECT:
ROSS ESTATES
BLANCHARD ROAD EXTENSION, CUMBERLAND, MAINE

PREPARED FOR:
STONEWOOD LAND, LLC
8 ROBERTS STREET, FALMOUTH, MAINE 04105

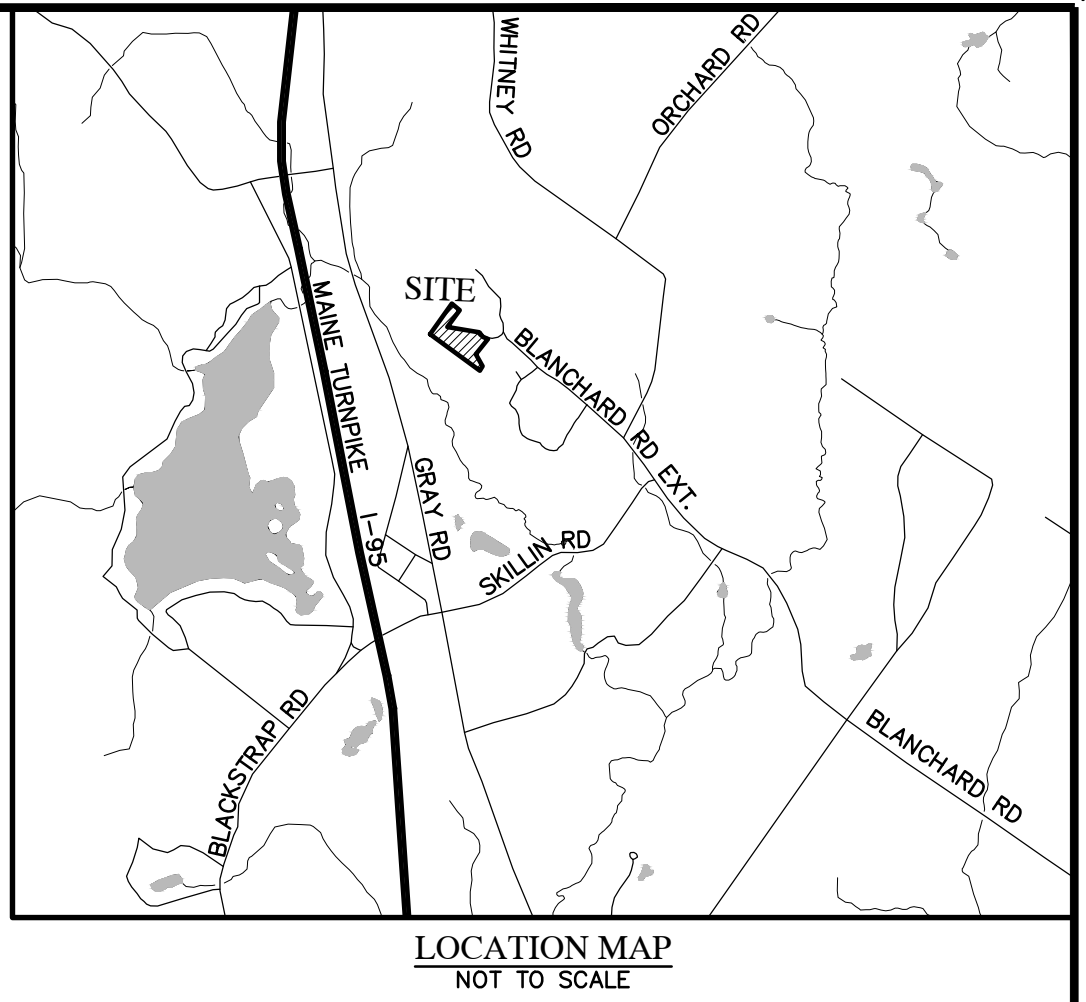
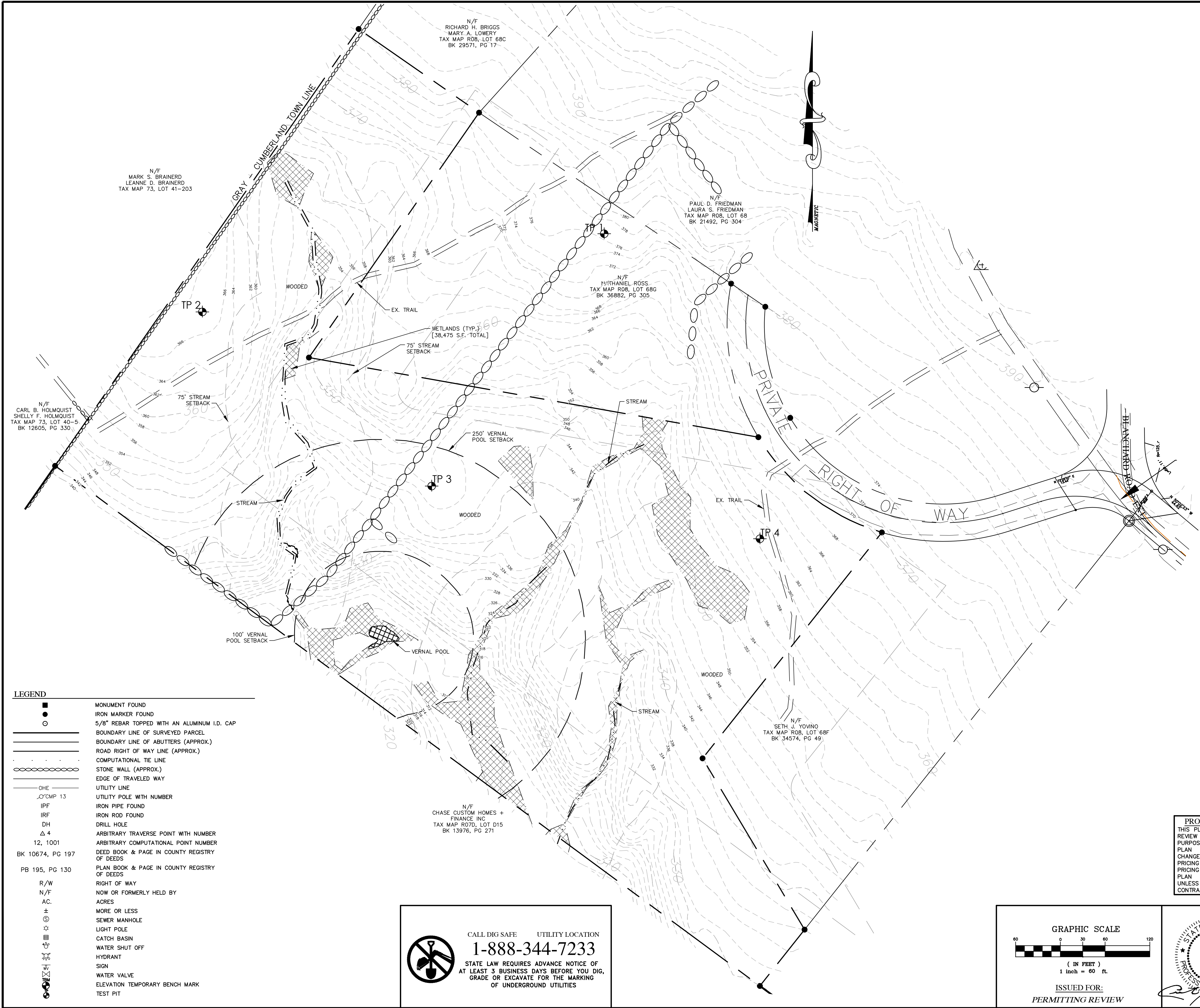


SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS

FIELD WK:	SCALE: NTS	SHEET: C1
DRN BY: MCA	JOB #: 4185	
CH'D BY: KPC	MAP/LOT: R08 / 68I	
DATE: 11-16-2020	FILE: 4185-COV-DET	


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XLAND PROJECTS\4185 ROSS BLANCHARD RD CUMBERLAND\DWG\4185-SITE.DWG, C2 EXCOND, 8/16/2021, 10:22 PM, MELISSA ARCHIBELL

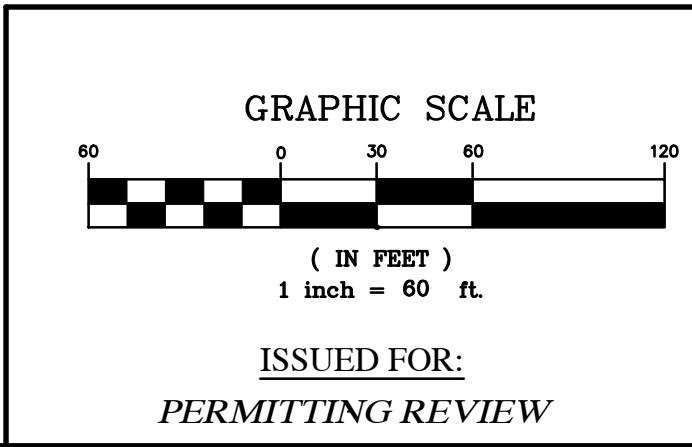


- NOTES:**
- TITLE REFERENCE FOR SURVEYED PARCEL:**
BK 36884, PG 28
 - PLAN REFERENCE(S):**
 - PLAN ENTITLED, "PLAN OF LAND AND RIGHTS SOLD TO NATHANIEL ROSS & ROSS ENTITIES BY BRENDA AND ROBERT PIAMPANO", DATED SEPTEMBER 15, 2020 BY CUMBERLAND BOUNDARY SURVEY, PLLC.
 - PLAN ENTITLED, "WETLAND DELINEATION PLAN PREPARED FOR NATE ROSS (N/F PIAMPANO), BLANCHARD ROAD EXT, CUMBERLAND, MAINE", DATED MAY 8, 2020 BY ALBERT FRICK ASSOCIATES, INC.
 - PLAN ENTITLED, "STANDARD BOUNDARY SURVEY OF LAND OF ROBERT J. PIAMPANO, BLANCHARD ROAD, CUMBERLAND, MAINE, PREPARED FOR BRENDA T. PIAMPANO, 365 BLANCHARD ROAD, CUMBERLAND, MAINE 04021", BY SEBAGO TECHINCS AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS ON MARCH 20, 2001 IN PLAN BOOK 201, PAGE 104.
 - AREA INFORMATION:**
540,475 S.F. (12.41 ACRES)
 - TAX MAP REFERENCE:**
TAX MAP R08, LOT 68I.
 - BASIS OF BEARINGS:**
BEARINGS ARE MAGNETIC AND ARE BASED ON HAND COMPASS BEARINGS ALONG RANDOM TRAVERSE LINES.
 - WETLANDS:**
WETLAND DELINEATION COMPLETED BY ALBERT FRICK ASSOCIATES, INC. ON MAY 13, 2020
 - TEST PITS:**
THREE (3) TEST PITS WERE COMPLETED ON THE SITE BY ALBERT FRICK ASSOCIATES, INC. ON JUNE 2, 2020.

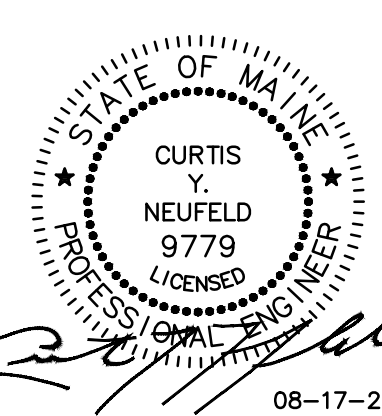
LEGEND	
■	MONUMENT FOUND
●	IRON MARKER FOUND
○	5/8" REBAR TOPPED WITH AN ALUMINUM I.D. CAP
—	BOUNDARY LINE OF SURVEYED PARCEL
- - -	BOUNDARY LINE OF ABUTTERS (APPROX.)
—	ROAD RIGHT OF WAY LINE (APPROX.)
—	COMPUTATIONAL TIE LINE
—	STONE WALL (APPROX.)
—	EDGE OF TRAVELED WAY
—	UTILITY LINE
—	UTILITY POLE WITH NUMBER
—	IRON PIPE FOUND
—	IRON ROD FOUND
—	DRILL HOLE
—	ARBITRARY TRAVERSE POINT WITH NUMBER
—	ARBITRARY COMPUTATIONAL POINT NUMBER
—	DEED BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
—	PLAN BOOK & PAGE IN COUNTY REGISTRY OF DEEDS
—	RIGHT OF WAY
—	NOW OR FORMERLY HELD BY
—	ACRES
—	MORE OR LESS
—	SEWER MANHOLE
—	LIGHT POLE
—	CATCH BASIN
—	WATER SHUT OFF
—	HYDRANT
—	SIGN
—	WATER VALVE
—	ELEVATION TEMPORARY BENCH MARK
—	TEST PIT



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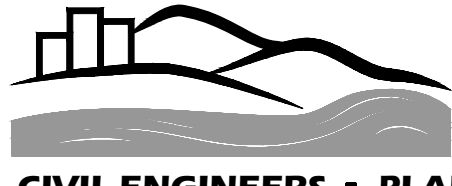


1. 08-17-21 SUBMITTED TO TOWN FOR PRELIMINARY SUB. REVIEW

TITLE:
EXISTING CONDITIONS PLAN

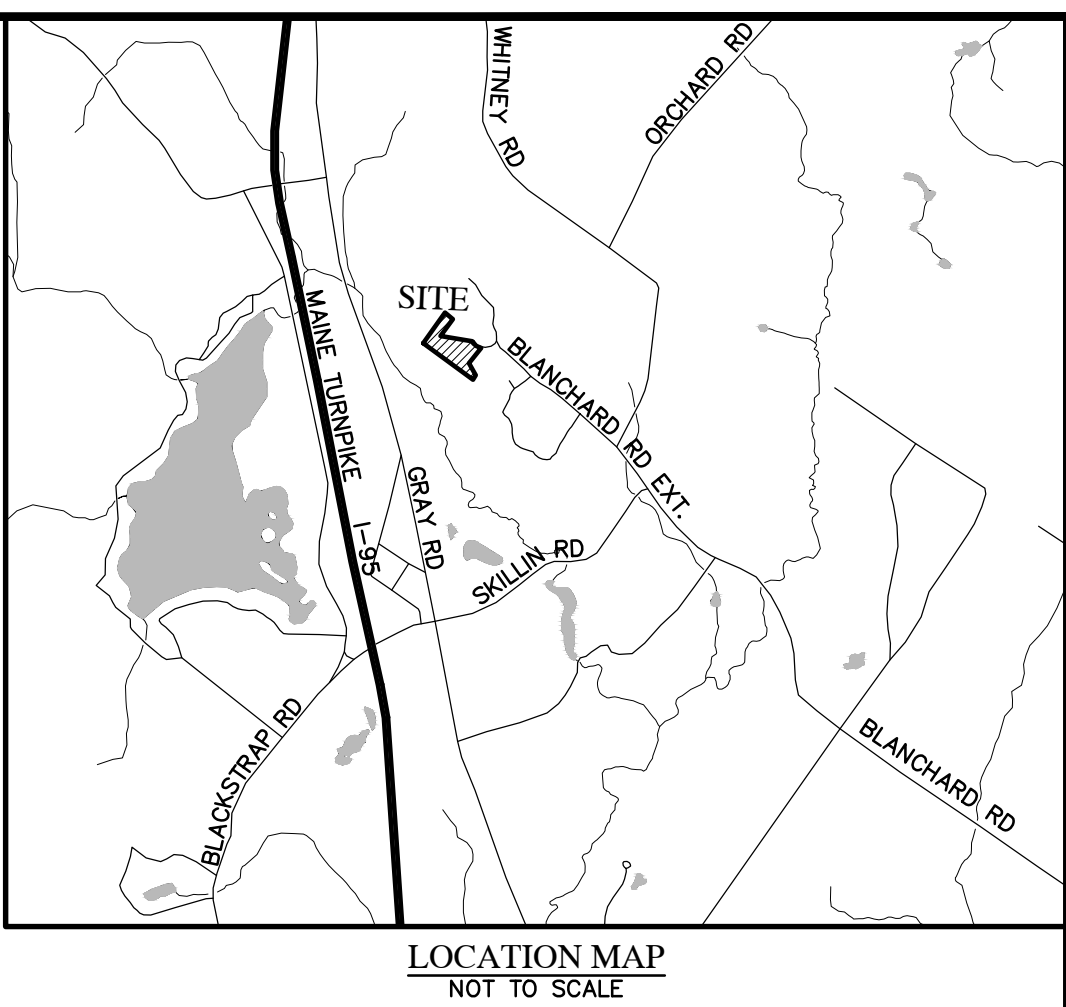
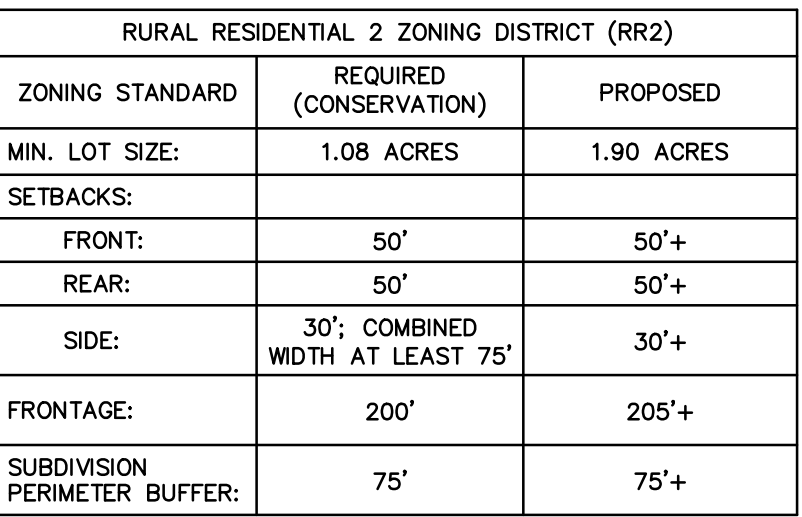
PROJECT:
**ROSS ESTATES
BLANCHARD ROAD EXTENSION, CUMBERLAND, MAINE**

PREPARED FOR:
**STONEWOOD LAND, LLC
8 ROBERTS STREET, FALMOUTH, MAINE 04105**



SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS

FIELD WK:	SCALE: 1"=60'	SHEET:
DRN BY: MCA	JOB #: 4185	C2
CH'D BY: KPC	MAP/LOT: R08 / 68I	
DATE: 11-16-2020	FILE: 4185-SITE	



BK 36884, PG 28

a) PLAN ENTITLED, "PLAN OF LAND AND RIGHTS SOLD TO NATHANIEL ROSS & ROSS ENTITIES BY BRENDA AND ROBERT PIAMPIANO", DATED SEPTEMBER 15, 2020 BY CUMBURLAND BOUNDARY SURVEY, PLLC.

b) PLAN ENTITLED, "WETLAND DELINEATION PLAN PREPARED FOR NATE ROSS (N/F PIAMPIANO), BLANCHARD ROAD EXT, CUMBERLAND, MAINE", DATED MAY 8, 2020 BY ALBERT FRICK ASSOCIATES, INC.

c) PLAN ENTITLED, "STANDARD BOUNDARY SURVEY OF LAND OF ROBERT J. PIAMPIANO, BLANCHARD ROAD, CUMBERLAND, MAINE, PREPARED FOR BRENDA T. PIAMPIANO, 365 BLANCHARD ROAD, CUMBERLAND, MAINE 04021", BY SEBAGO TECHINCS AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS ON MARCH 20, 2001 IN PLAN BOOK 201, PAGE 104.

TAX MAP R08, LOT 68I

BEARINGS ARE MAGNETIC AND ARE BASED ON HAND COMPASS BEARINGS ALONG
RANDOM TRAVERSE LINES.

GROSS ACREAGE: 540,475 S.F. (12.41 AC.)

SLOPES (20%):	0 S.F. (0 AC.)
WETLANDS:	38,475 S.F. (0.88 AC.)
100YR FLOOD:	0 S.F. (0 AC.)
RIGHTS-OF-WAY:	11,115 S.F. (0.26 AC.)
RP DISTRICT:	0 S.F. (0 AC.)

NET RESIDENTIAL ACREAGE: 490,885 S.F. (11.27 AC.)

MAXIMUM NUMBER OF LOTS ALLOWED: 11.27 AC / 2 AC (RR2) = 5.63 LOTS

MINIMUM LOT SIZE: 50% OF GROSS ACREAGE / MAX ALLOWABLE LOTS
6.20 AC / 5.63 LOTS = 1.10 ACRES

GROSS ACREAGE: 12.41 ACRES
50% OF AREA: 6.20 ACRES MINIMUM OPEN SPACE REQUIREMENT

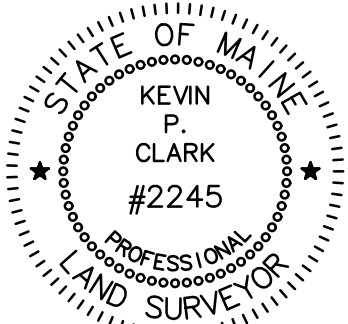
PROPOSED OPEN SPACE = 6.39± ACRES

TOTAL WETLAND IMPACTS: 2,558 S.F.

NOTE: IMPACTS WITHIN THE 75' STREAM SETBACK WILL REQUIRE A MAINE DEP NRPA PERMIT BY RULE. INDIVIDUALS WILL BE REQUIRED TO SUBMIT INDIVIDUAL NRPA PERMITS FOR ANY STREAM IMPACTS ASSOCIATED WITH BUILDING AND DRIVEWAY DEVELOPMENT.

SURVEYOR'S CERTIFICATION:

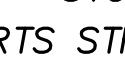
THE PREPARER HEREBY CERTIFIES THAT THIS SURVEY HAS BEEN UNDERTAKEN IN CONFORMANCE WITH THE RULES SET FORTH BY THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS, DATED APRIL 1, 2001, FOR A BOUNDARY SURVEY.

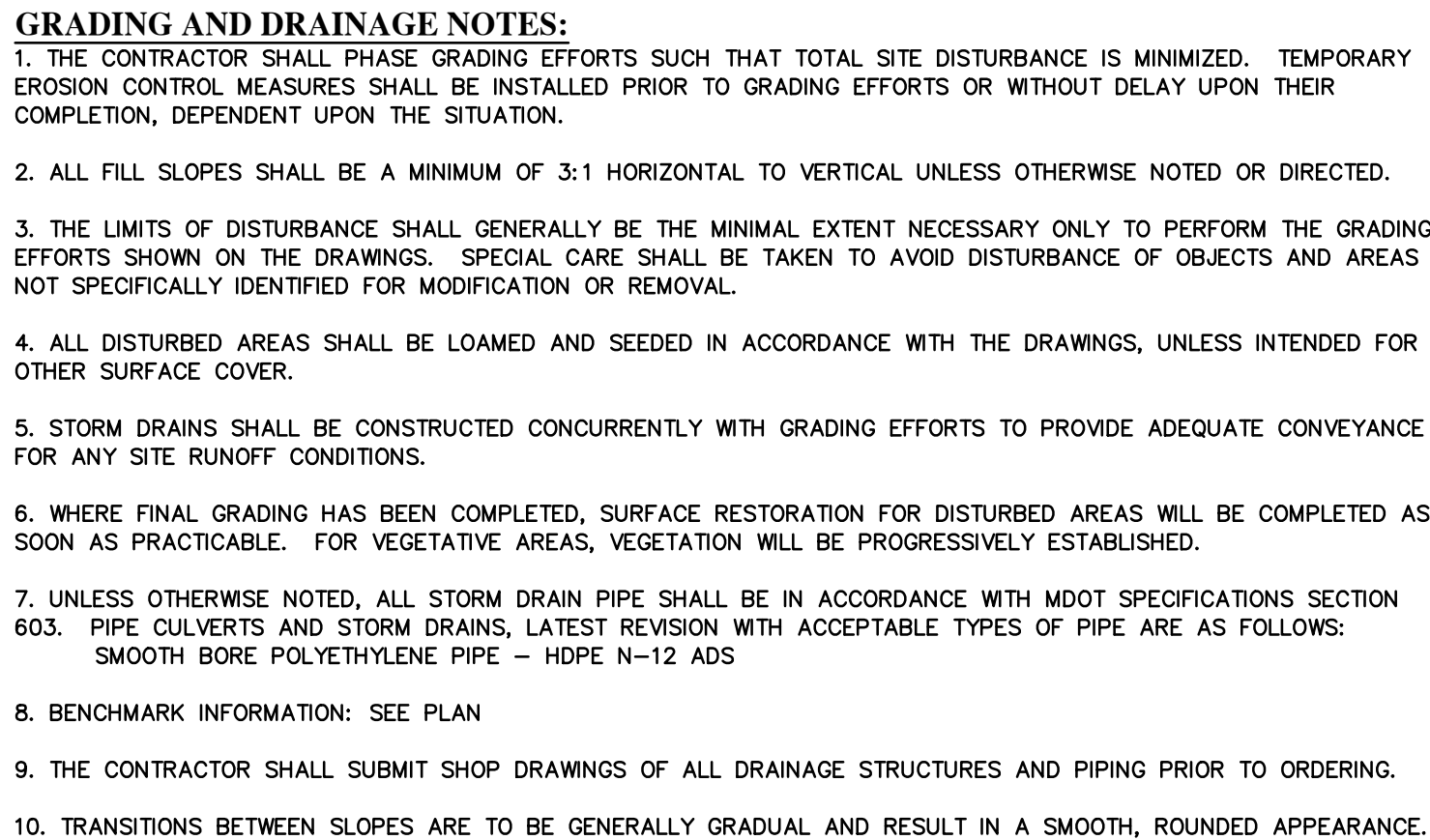


DATE _____

KEVIN P. CLARK, PLS #2245

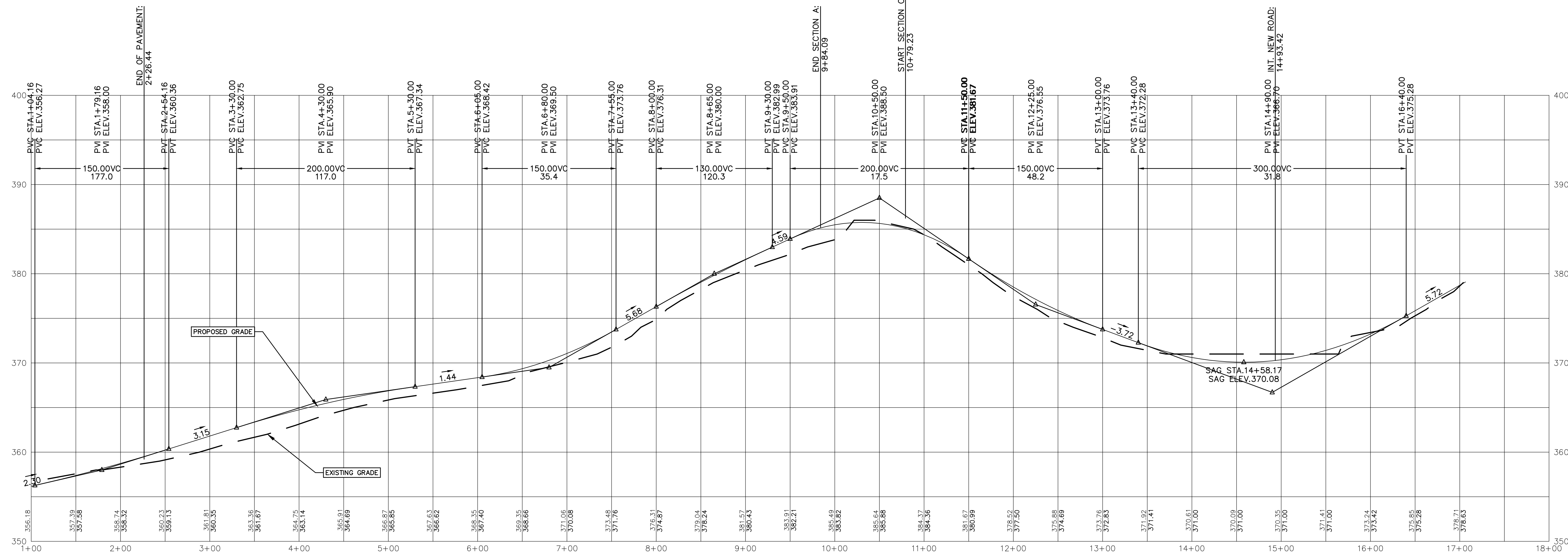
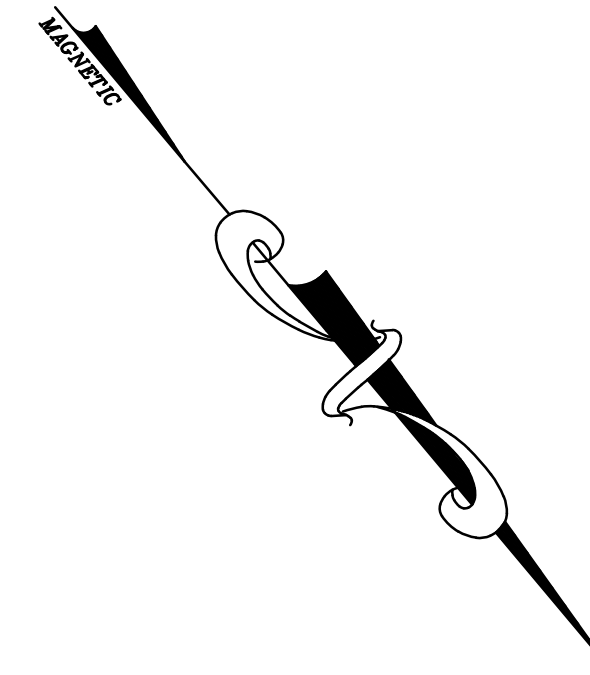
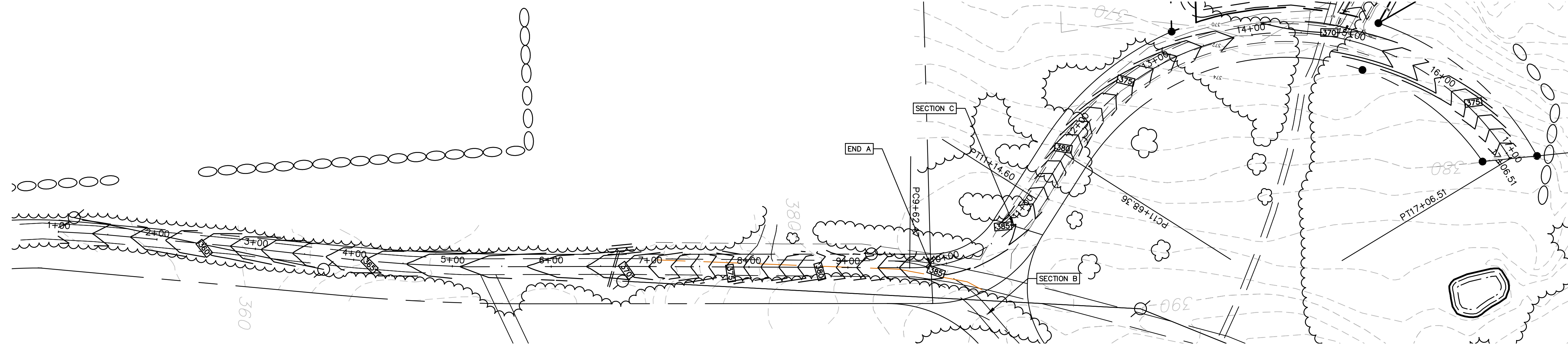
NOT VALID UNLESS EMBOSSED HERE
PERMITTING REVIEW

TITLE: PRELIMINARY SUBDIVISION PLAN CONSERVATION SUBDIVISION		
PROJECT: ROSS ESTATES BLANCHARD ROAD EXTENSION, CUMBERLAND, MAINE		
PREPARED FOR: STONEWOOD LAND, LLC 8 ROBERTS STREET, FALMOUTH, MAINE 04105		
 <div style="display: inline-block; vertical-align: middle; text-align: left;"> <b style="font-size: 2em; margin: 0;">SITELINES 119 PURINGTON ROAD, SUITE A BRUNSWICK, MAINE 04011 207.725.1200 CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS </div>		
FIELD WK: DRN BY: CHD BY: DATE: 10-16-2020	SCALE: 1"=60' JOB #: 4185 MAP/LOT: R08 / 68I FILE: 4185-SITE	SHEET: <div style="font-size: 4em; font-weight: bold; margin-top: 10px;">C3</div>



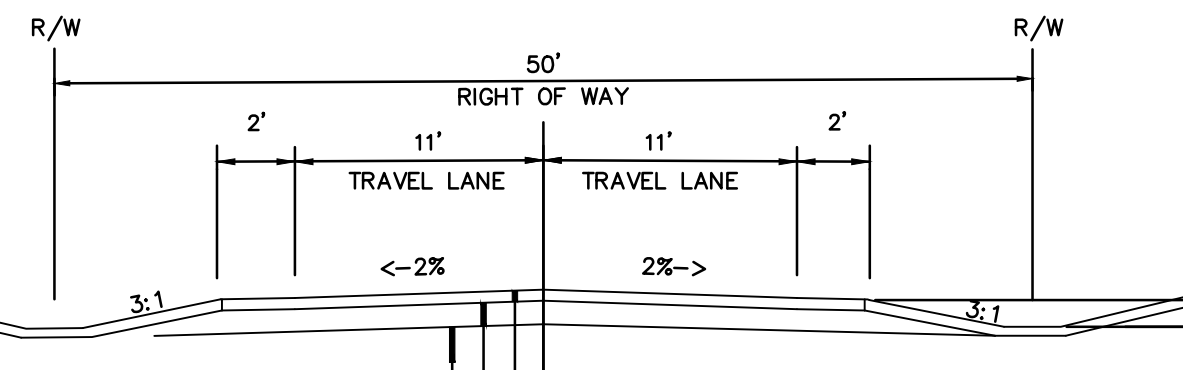
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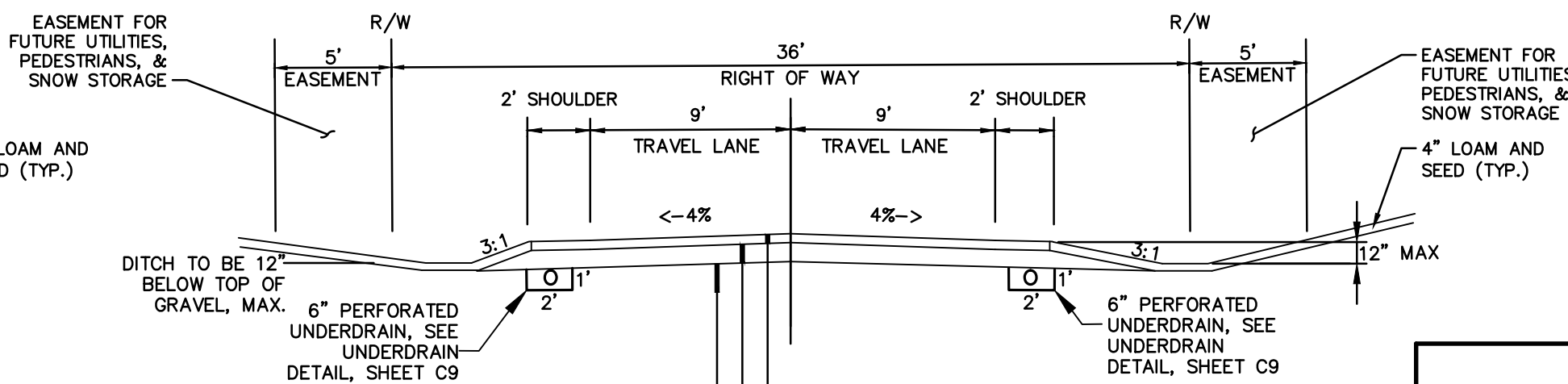


PROFILE VIEW:

SCALE: 1" = 60' HORIZONTAL & 1" = 6' VERTICAL



SECTION A
N.T.S.

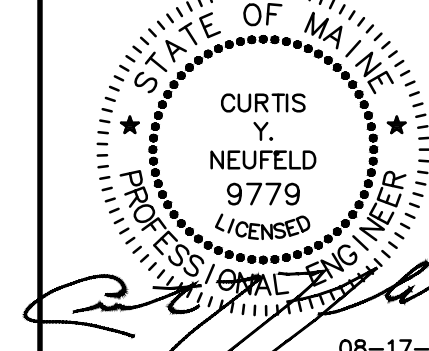
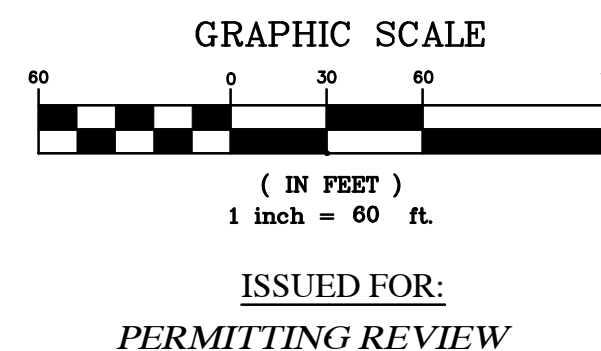


SECTION C
N.T.S.

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1. 08-17-21 SUBMITTED TO TOWN FOR PRELIMINARY SUB. REVIEW

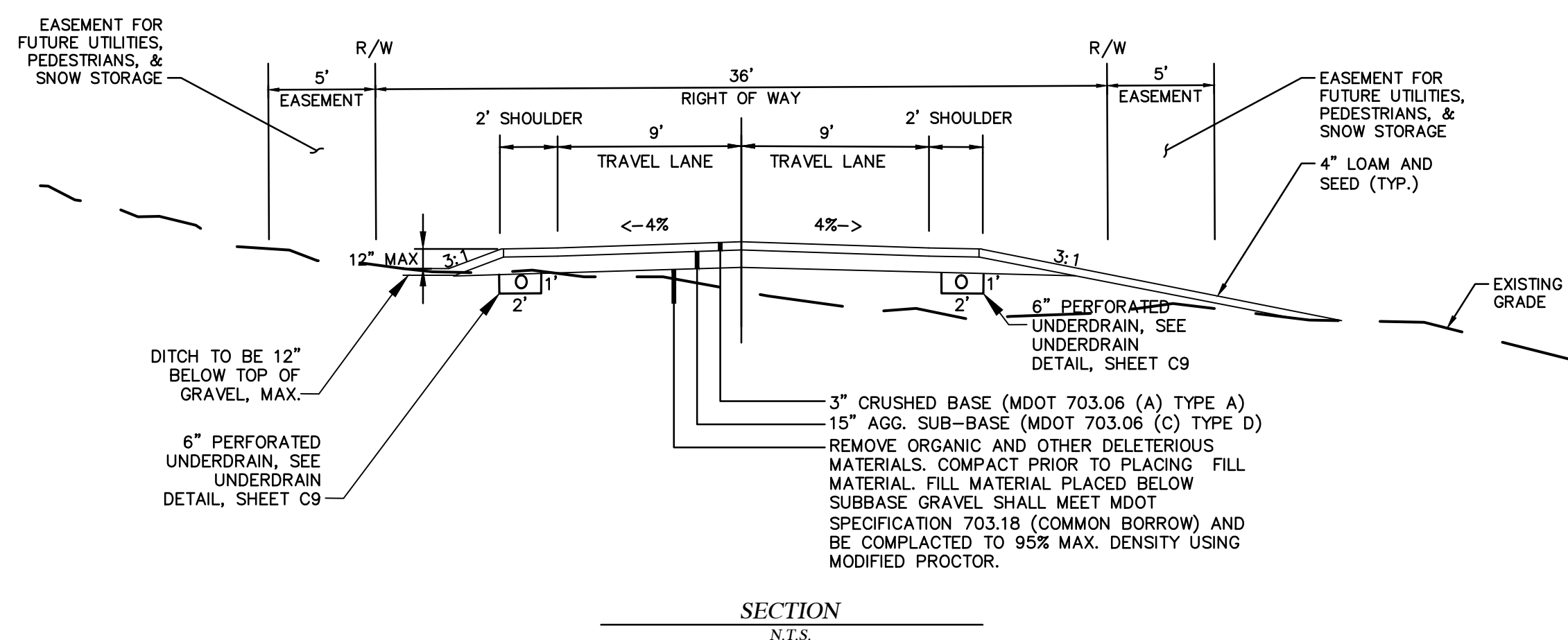
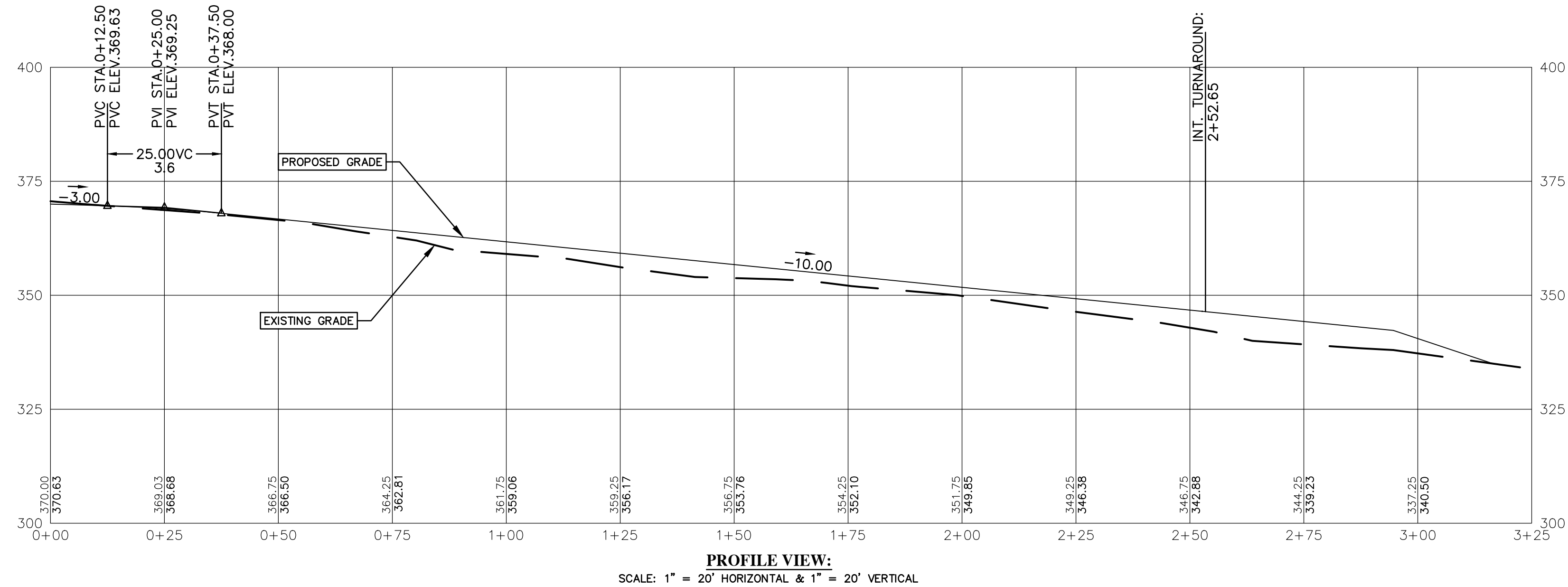
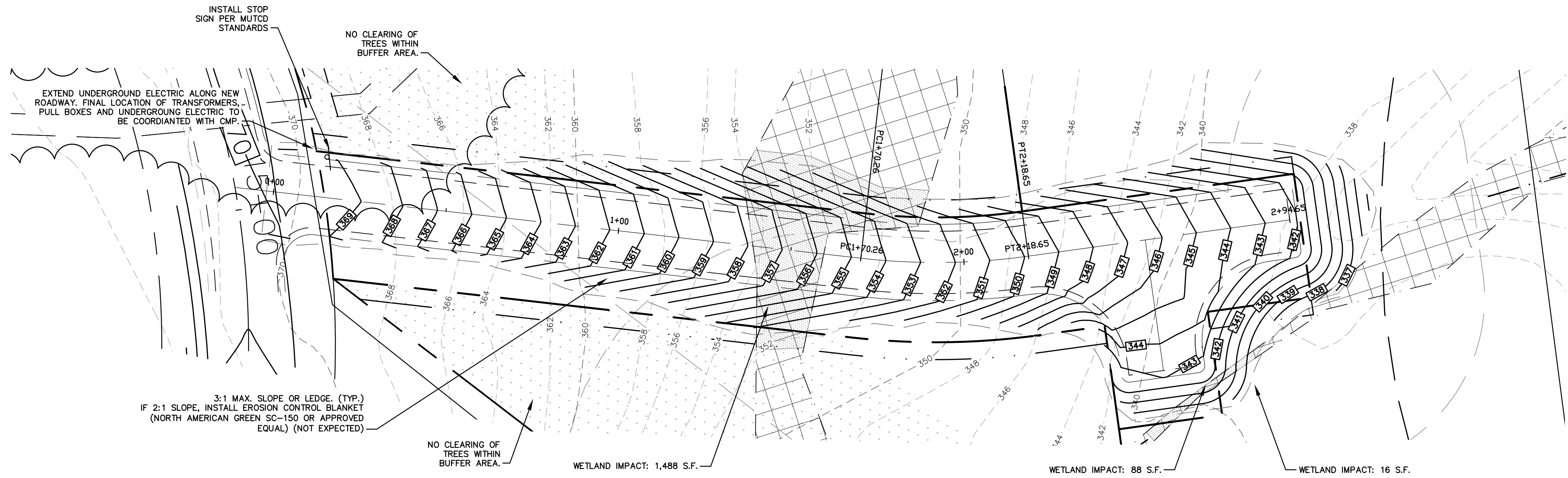
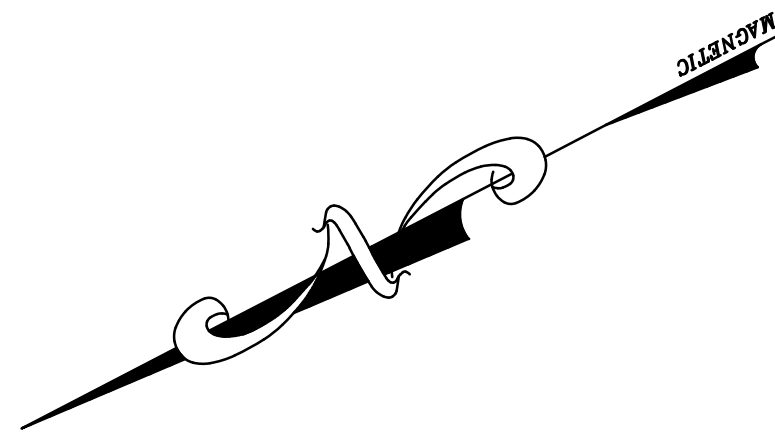
TITLE: **PLAN AND PROFILE**
BLANCHARD ROAD EXTENSION SECTIONS A & C
PROJECT: **ROSS ESTATES**
BLANCHARD ROAD EXTENSION, CUMBERLAND, MAINE
PREPARED FOR: **STONEWOOD LAND, LLC**
8 ROBERTS STREET, FALMOUTH, MAINE 04105

SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
207.725.1200
CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS
FIELD WK: SCALE: 1" = 30'
DRN BY: MCA JOB #: 4185
CH'D BY: KPC MAP/LOT: R08 / 681
DATE: 11-16-2020 FILE: 4185-SITE

SHEET:
C5

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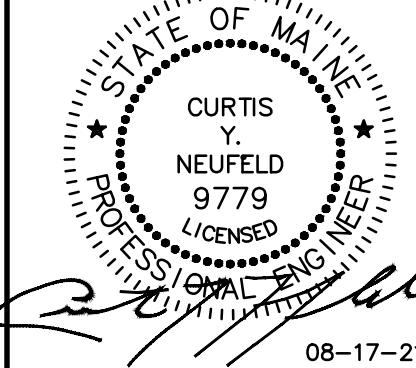
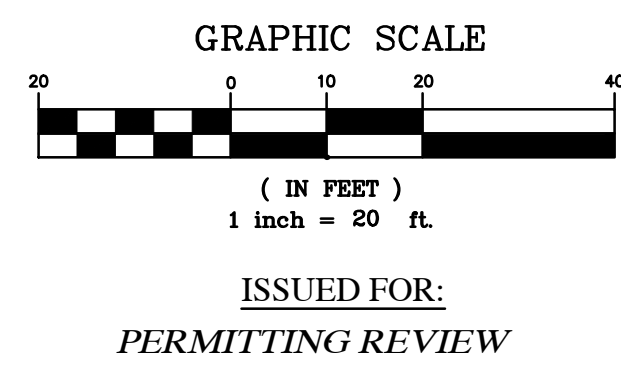
XLAND PROJECTS 118 ROSS BLANCHARD RD CUMBERLAND MA 04105 SITE DWG. OF PLAN & PROFILE. 8/18/2021 10:23 PM. MELISSA ARCHIBELL



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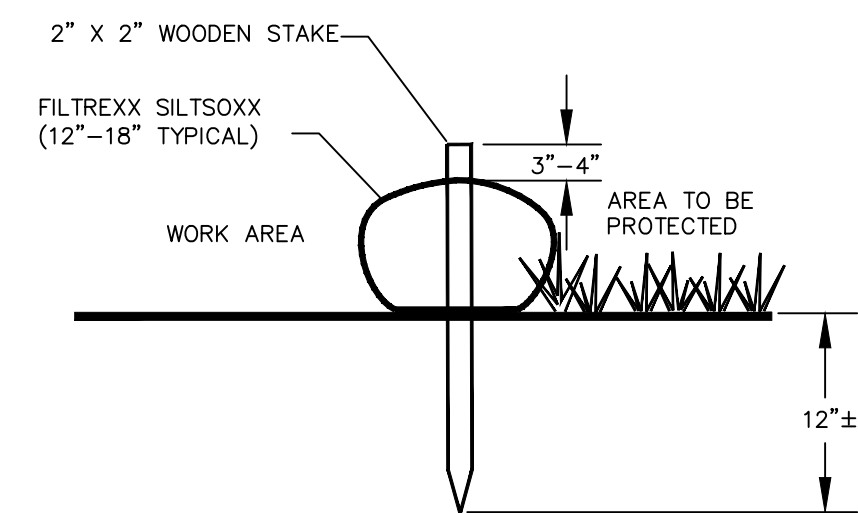
1. 08-17-21 SUBMITTED TO TOWN FOR PRELIMINARY SUB. REVIEW

TITLE: PLAN AND PROFILE ESTELLA'S WAY (PROPOSED)	
PROJECT: ROSS ESTATES BLANCHARD ROAD EXTENSION, CUMBERLAND, MAINE	
PREPARED FOR: STONEWOOD LAND, LLC 8 ROBERTS STREET, FALMOUTH, MAINE 04105	
FIELD WK: DRN BY: MCA CH'D BY: KPC DATE: 11-16-2020	SCALE: 1" = 20' JOB #: 4185 MAP/LOT: R08 / 681 FILE: 4185-SITE
SHEET: C6	

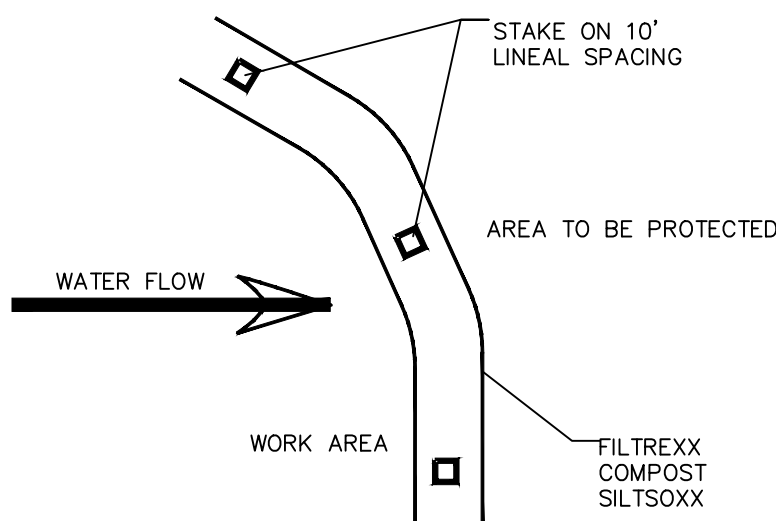
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XLAND PROJECTS\418 ROSS BLANCHARD RD CUMBERLAND\DWG\418-ESC.DWG, C7, E.S. 01/16/2021, 10:22 PM, MELISSA ARCHIBELL

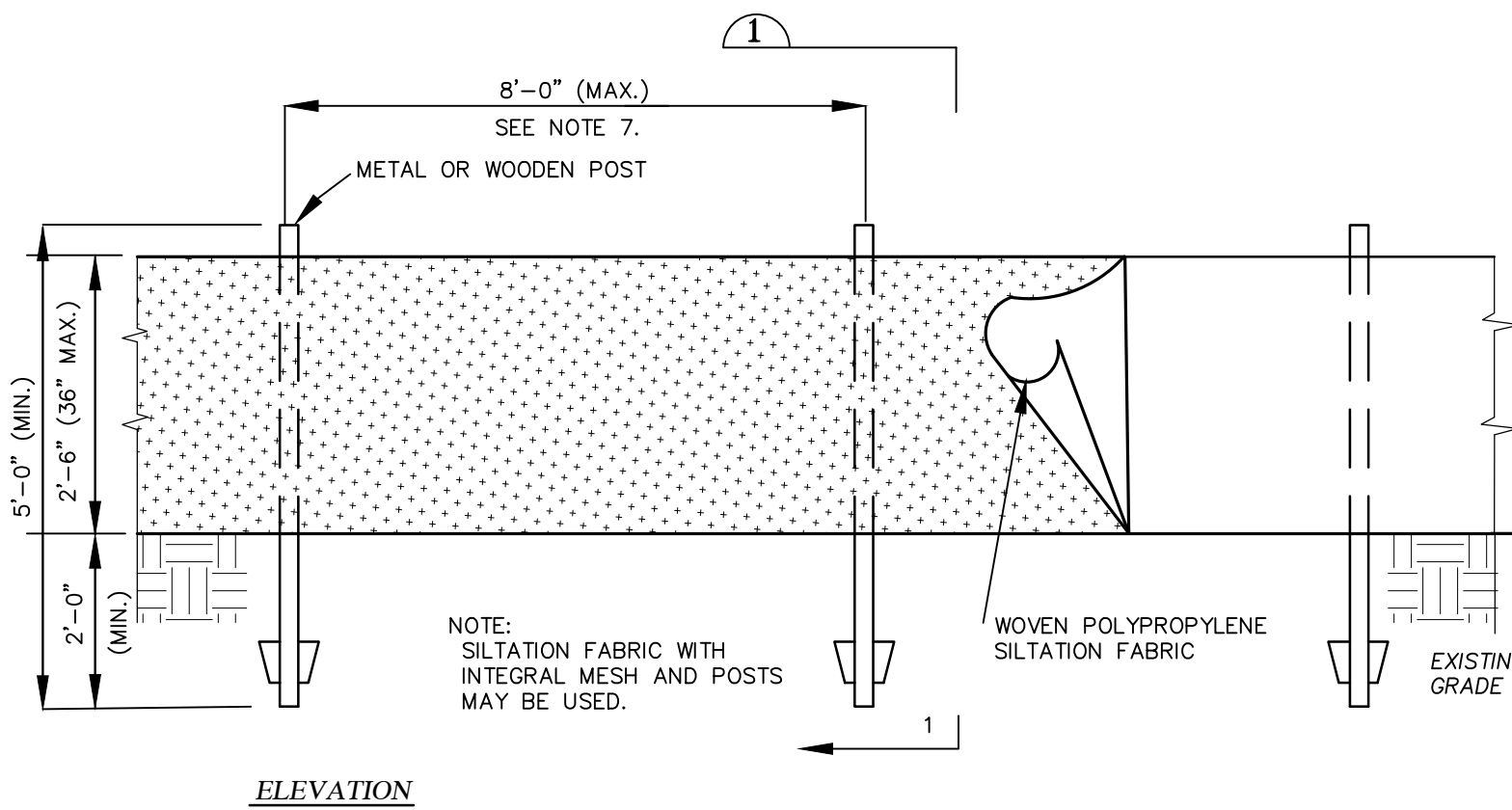


SECTION

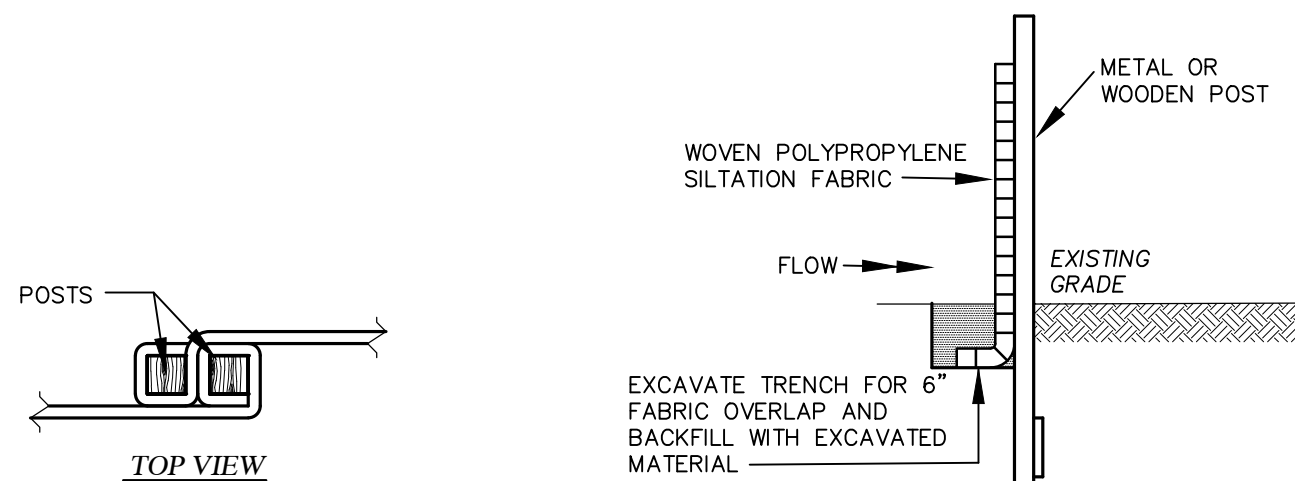


PLAN

- NOTES:
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
 2. SILTISOXX COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
 3. SILTISOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



ELEVATION



TOP VIEW

SECTION

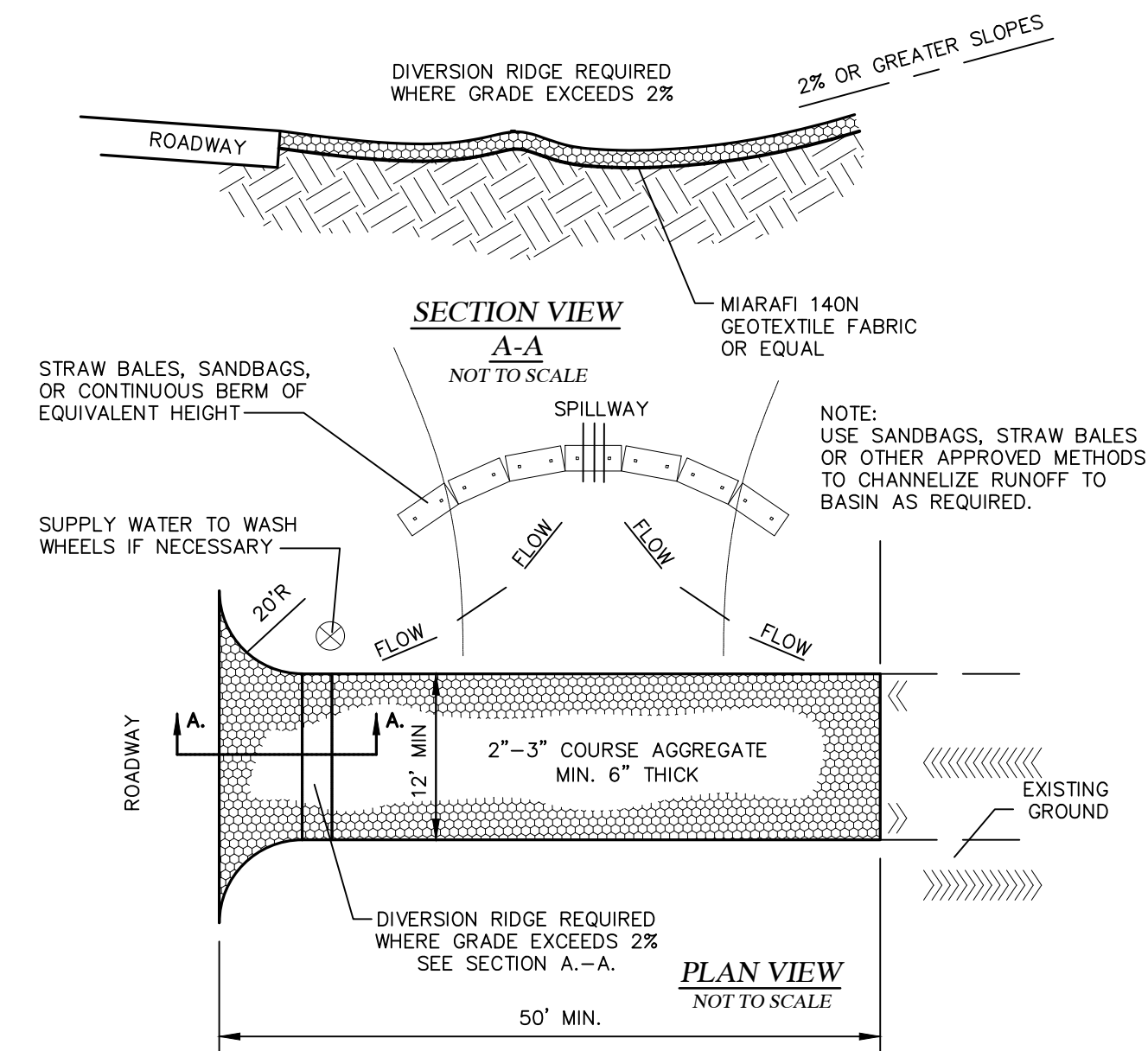
- INSTALLATION:
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACK FILL THE TRENCH AND TAMP THE SOIL.
 5. JOIN SECTION AS SHOWN IN TOP VIEW.
 6. BARRIER SHALL BE MIRAFI SILT FENCE (100X) OR APPROVED EQUIVALENT.
 7. A STONE "FILLET" MAY BE USED FOR ANCHORING FABRIC IF IT CANNOT BE KEYED IN.

A

FILTREXX SILTISOXX DETAIL "SEDIMENT BARRIER OPTION"
N.T.S.

B

SILT FENCE DETAIL "SEDIMENT BARRIER OPTION"
N.T.S.



SECTION VIEW A-A

NOT TO SCALE

PLAN VIEW

NOT TO SCALE

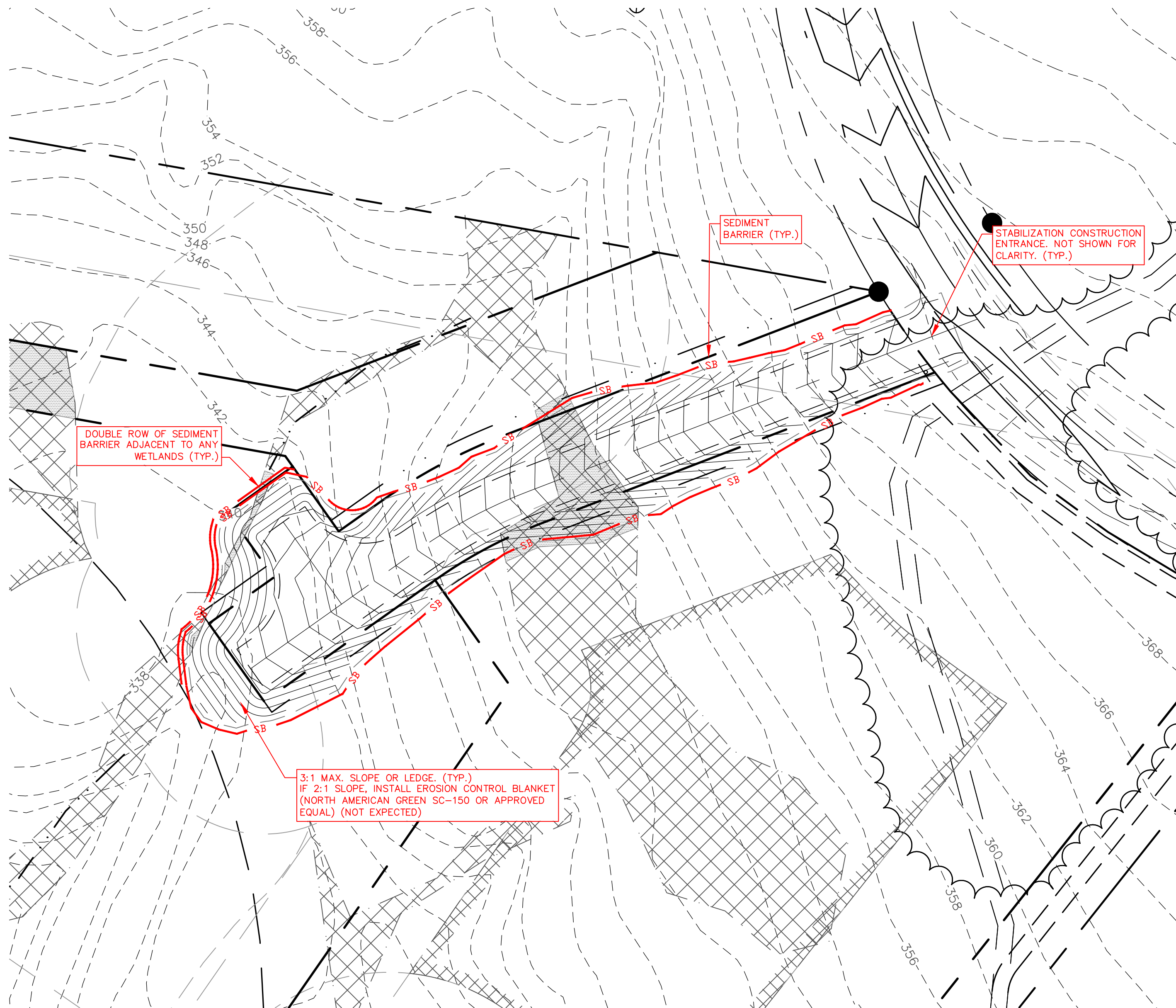
- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR BASIN.
 4. TRACKED MUD OR SEDIMENT SHALL BE REMOVED PRIOR TO THE NEXT STORM EVENT. "REMOVED" SHALL MEAN VACUUM SWEEPING. MECHANICAL BROOM/SWEEPING SEDIMENT INTO DITCHES OR STRUCTURES IS NOT ACCEPTABLE.

C

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

D

SEDIMENT TRAP DETAIL
N.T.S.



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

LEGEND

SB SEDIMENT BARRIER

EROSION & SEDIMENT CONTROL (ESC) NOTES:

1. THE CONTRACTOR SHALL UTILIZE THE CONSTRUCTION ENTRANCE FOR ENTERING AND EXITING THE PROPERTY
2. ESC BMPs SHALL BE INSTALLED PRIOR TO START OF WORK.
3. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT DISTURBED AREAS AND REVIEW BMPs PRIOR TO FORECAST PRECIPITATION OF MORE THAN 0.5 INCHES.
4. CONTRACTOR TO SWEEP EXISTING PAVED ACCESS AS NEEDED TO REMOVE TRACKED SOILS.
5. CONTRACTOR SHALL KEEP THE WRITTEN STORMWATER MANAGEMENT INSPECTION AND MAINTENANCE PLAN ON SITE.
6. ALL RUNOFF FROM DISTURBED AREAS SHALL BE DIRECTED TO A FILTERING DEVICE DESIGNATED TO LIMIT DISCHARGE TURBIDITY. THE FILTERING DEVICE MAY BE BUT IS NOT LIMITED TO SAND FILTERS, EROSION CONTROL MIX, STRAW WA TILES, FLOCCULATION CHEMICALS, DIRT GLUE AND SILT FENCE.
7. STOCKPILES TO BE TEMPORARILY SEEDED AND MULCHED OR COVERED WITH POLY SHEETING AS REQUIRED BY THE PROJECT SPECIFICATIONS.
8. THE CONTRACTOR SHALL TREAT DISTURBED AREAS, BUILDING AREAS, AND CONSTRUCTION HAUL PATHS WITH DUST CONTROL BMPs TO LIMIT ALL FUGITIVE DUST PER THE PROJECT SPECIFICATIONS.
9. THE EROSION AND SEDIMENT CONTROL MEASURES DEPICTED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MANAGE, INSPECT AND PROTECT THE SITE USING MESEP BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE PROJECT SPECIFICATIONS AND THE EROSION AND SEDIMENT CONTROL REPORT. THIS MAY REQUIRE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NOT DEPICTED ON THIS PLAN WHICH ARE CONSIDERED INCIDENTAL TO THE CONTRACT AND WILL BE IMPLEMENTED AT NO ADDITIONAL COST TO THE OWNER.
10. ALL CATCH BASIN INLETS WITH TRIBUTARY AREA WITH PAVEMENT COVER SHALL HAVE AN OIL ABSORBENT BOOM INSTALLED PRIOR TO THE PLACEMENT OF ANY BINDER PAVEMENT.
11. SEE ADDITIONAL NOTES ON SHEET C10, EROSION CONTROL NOTES.

PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

1. 08-17-21 SUBMITTED TO TOWN FOR PRELIMINARY SUB. REVIEW

TITLE: EROSION CONTROL PLAN
PROJECT: ROSS ESTATES
BLANCHARD ROAD EXTENSION, CUMBERLAND, MAINE
PREPARED FOR: STONEWOOD LAND, LLC
8 ROBERTS STREET, FALMOUTH, MAINE 04105

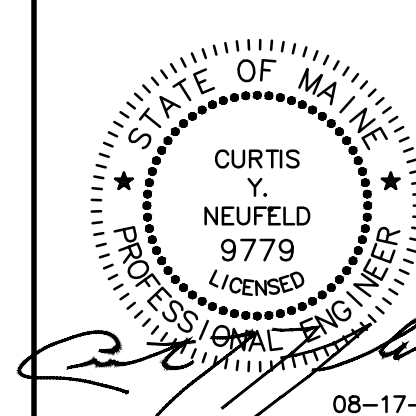
SITELINES
119 PURINTON ROAD, SUITE A
BRUNSWICK, MAINE 04011
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FIELD WK: SCALE: SHEET: C7
DRN BY: MCA JOB #: 4185
CH'D BY: KPC MAP/LOT: R08 / 681
DATE: 11-16-2020 FILE: 4185-SITE



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08-17-21

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EROSION AND SEDIMENTATION NOTES:

1. CONTRACTOR SHALL REFER TO THE FOLLOWING REFERENCES FOR THE DESIGN AND INSTALLATION OF TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL PRACTICES:
- 2016 REVISION TO THE 2003 MAINE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL FOR DESIGNERS AND ENGINEERS
 - 2014 REVISION TO THE 2003 MAINE EROSION AND SEDIMENT CONTROL FIELD GUIDE FOR CONTRACTORS

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:

EROSION/SEDIMENT CONTROL DEVICES:

THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

1. SEDIMENT BARRIER: PRIOR TO THE START OF CONSTRUCTION, SILT SOXX OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. THE STANDARD FOR STABILIZED IS 90% COVERAGE OF SEEDED AREAS. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.
2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
3. RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
4. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
5. STRAW AND HAY MULCH: USED TO COVER DENUDED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY.
6. IN LIEU OF MULCH, USE EROSION CONTROL BLANKET (EQUAL TO NORTH AMERICAN GREEN SC150) TO STABILIZE AREAS OF CONCENTRATED FLOW AND DRAINAGE WAYS.
7. STABILIZED CONSTRUCTION ENTRANCE: PRIOR TO THE START OF CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE WILL BE INSTALLED AND UTILIZED FOR CONTRACTOR ACCESS. TRACKED MUD OR SEDIMENT SHALL BE REMOVED PRIOR TO THE NEXT STORM EVENT.

TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:

PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION OF THE DEVELOPMENT:

1. SEDIMENT BARRIER ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SEDIMENT BARRIER SHALL BE INSTALLED PRIOR TO THE START OF THE CONSTRUCTION AND WILL REMAIN IN PLACE UNTIL THE SITE IS 90% REVEGETATED.
2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
 - A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
 - B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES.
 - C. STABILIZE STOCKPILES WITHIN 7 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
 - D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT BASE OF PILE.
 - E. STORMWATER SHOULD BE PREVENTED FROM RUNNING ONTO STOCKPILES.
4. ALL DENUDED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 7 DAYS AFTER CESSATION THE CONSTRUCTION ACTIVITIES. STABILIZE ANY EXPOSED SOIL WITH MULCH, OR OTHER NON-ERODIBLE COVER. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOD WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDED AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 7 DAY MAXIMUM.
6. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
7. WHENEVER PRACTICABLE, NO DISTURBANCE ACTIVITIES SHOULD TAKE PLACE WITHIN 50 FEET OF ANY WETLAND. IF DISTURBANCE ACTIVITIES TAKE PLACE BETWEEN 30 FEET AND 50 FEET OF ANY WETLAND, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE WETLAND, PERIMETER EROSION CONTROLS MUST BE DOUBLED. IF DISTURBANCE ACTIVITIES TAKE PLACE LESS THAN 30 FEET FROM ANY PROTECTED NATURAL RESOURCE, AND STORMWATER DISCHARGES THROUGH THE DISTURBED AREAS TOWARD THE PROTECTED NATURAL RESOURCE, PERIMETER EROSION CONTROLS MUST BE DOUBLED AND DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 7 DAYS.
8. AREAS WITHIN 75 FT OF A WETLAND WILL BE STABILIZED WITHIN 48 HOURS OF INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.
9. ALL AREAS WITHIN 75 FEET OF A WETLAND MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS DURING WINTER CONSTRUCTION (NOVEMBER 1 THROUGH APRIL 15).
10. TEMPORARY SEDIMENT BASINS MAY BE INSTALLED DOWNGRADIENT OF THE DISTURBED AREAS. THESE BASINS MUST BE DESIGNED TO PROVIDE STORAGE FOR EITHER THE CALCULATED RUNOFF FROM A 2-YEAR, 24-HOUR STORM OR PROVIDE FOR 3,600 CUBIC FEET OF CAPACITY PER ACRE DRAINING TO THE BASIN. OUTLET STRUCTURES MUST DISCHARGE WATER FROM THE SURFACE OF THE BASIN WHENEVER POSSIBLE. EROSION CONTROLS AND VELOCITY DISSIPATION DEVICES MUST BE USED IF THE DISCHARGING WATERS ARE LIKELY TO CREATE EROSION. ACCUMULATED SEDIMENT MUST BE REMOVED AS NEEDED FROM THE BASIN TO MAINTAIN AT LEAST ½ OF THE DESIGN CAPACITY OF THE BASIN.
11. EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. AT ANY TIME, THE DENUDED AREA WILL NOT EXCEED THAT WHICH CAN BE MULCHED IN ONE DAY.

PERMANENT EROSION CONTROL MEASURES:

THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.

2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP. (NONE ANTICIPATED)

POST-CONSTRUCTION REVEGETATION:

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS SHALL BE: ALLEN, STERLING & LATHROP "TUFTTURT", 70% DIAMOND TALL FESCUE, 20% PLEASURE OLUS PERENNIAL RYEGRASS, 10% BARON KENTUCKY BLUEGRASS. SEEDING RATE SHALL BE 7-LBS./1,000 SQ. FT.

SWALES SHALL BE: WILDFLOWER MEADOW (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SOFT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF ½ OZ.PER 1,000 SOFT. (FLOWERS) ACHILLEA MILLEFOLIUM YARROW, AQUILEGA CANADENSIS COLUMBINE, ASOLEPAS TURBOSO BUTTERNFLY MILKWED, ASTER NOVAE-ANGLIAE NEW-ENGLAND ASTER, BAFTISA AUSTRALIS WILD INDIGO, BOLTONIA ASTEROIDS FALSE ASTER, CHRYSANTHEMUM LEUCANTHEMUM OXEYE DAISY, DIGITALIS PURPUREA FOXGLOVE, ECHINACEA PURPUREA PURPLE CONEFLOWER, LUPINUS PERENNIS LUPINE, MONARDA FISTULOSA BERGAMOT, PAPAVER ORIENTALE ORIENTAL POPPY, RUDBECKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/3 OZ. EACH PER 1,000 SOFT. OR 4 OZ. PER 1,000 SOFT. IN COMBINATION

3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
 - A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
 - i. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 - ii. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
 - III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
 - B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
 - A. ONLY UNFROZEN LOAM SHALL BE USED.
 - B. LOAMING SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
 - C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.

- D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
- E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
- F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.

5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE:

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEDED AS NEEDED. EXPOSED AREAS WILL BE RESEDED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

HOUSEKEEPING:

FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 500, APPENDIX C.

1. SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR MUST DEVELOP, AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.

NOTE: ANY SPILL OR RELEASE OF TOXIC OR HAZARDOUS SUBSTANCES MUST BE REPORTED TO THE DEPARTMENT. FOR OIL SPILLS, CALL 1-800-482-0777 WHICH IS AVAILABLE 24 HOURS A DAY. FOR SPILLS OF TOXIC OR HAZARDOUS MATERIAL, CALL 1-800-452-4664 WHICH IS AVAILABLE 24 HOURS A DAY. FOR MORE INFORMATION, VISIT THE DEPARTMENT'S WEBSITE AT : HTTP://WWW.MAINE.GOV/DEP/SPILLS/EMERGSPIRLRESP/

2. GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.

NOTE: LACK OF APPROPRIATE POLLUTANT REMOVAL BEST MANAGEMENT PRACTICES (BMPs) MAY RESULT IN VIOLATIONS OF THE GROUNDWATER QUALITY STANDARD ESTABLISHED BY 38 M.R.S.A. §465-C(1).

3. FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (SCE) SHALL BE INSTALLED AT THE END OF THE EXIST PAVED ACCESS TO THE SITE TO MINIMIZE TRACKING OF MUD AND SEDIMENT. IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS. OPERATIONS DURING DRY MONTHS, THAT EXPERIENCE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.

4. DEBRIS AND OTHER MATERIALS. MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.

5. EXCAVATION DE-WATERING. EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER SHOULD BE REMOVED FROM THE SITE AND DISCHARGED TO A BODY OF WATER THAT MUST BE PROTECTED THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.

EXCAVATION DEWATERING IS ANTICIPATED FOR THIS PROJECT. SHOULD IT BE NECESSARY, THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A SEDIMENT TRAP (SEE DETAIL THIS SHEET), DIRT BAG, OR SEDIMENTATION BASIN. A DEWATERING DISCHARGE PLAN SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.

6. AUTHORIZED NON-STORMWATER DISCHARGES. IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:

- (a) DISCHARGES FROM FIREFIGHTING ACTIVITY;
- (b) FIRE HYDRANT FLUSHINGS
- (c) VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
- (d) DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS AND CHAPTER 500 APPENDIX C(3);
- (e) ROUTINE EXTERNAL BUILDING WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
- (f) PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) DETERGENTS ARE NOT USED;
- (g) UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
- (h) UNCONTAMINATED GROUNDWATER OR SPRING WATER;
- (i) FOUNDATION OR FOOTER DRAIN-WATER WHERE FLOWS ARE NOT CONTAMINATED;
- (j) UNCONTAMINATED EXCAVATION DEWATERING (SEE REQUIREMENTS IN APPENDIX C(5));
- (k) POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
- (l) LANDSCAPE IRRIGATION.

7. UNAUTHORIZED NON-STORMWATER DISCHARGES. THE DEPARTMENT'S APPROVAL UNDER CHAPTER 500 DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON STORMWATER, OTHER THAN THOSE DISCHARGES IN COMPLIANCE WITH APPENDIX C (6). SPECIFICALLY, THE DEPARTMENTS APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:

- (a) WASTEWATER FROM THE WASHOUT OR CLEANOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
- (b) FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
- (c) SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
- (d) TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

CONSTRUCTION PHASE:

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND MAINTAIN UNTIL SITE IS PAVED.
2. ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION WILL BE DISTURBED.

3. PRIOR TO THE START OF CONSTRUCTION, SEDIMENT BARRIER WILL BE INSTALLED ACROSS THE SLOPE(S), ON THE CONTOUR, AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT TRAVELLED WAY TO PROTECT IT FROM CONSTRUCTION-RELATED EROSION.
4. CLEAR AND GRUB WORK SITE AS NEEDED TO EXECUTE PLANS USING CAUTION NOT TO OVER EXPOSE THE SITE.

5. STORMWATER MANAGEMENT SYSTEM WILL BE INSTALLED PRIOR TO CONSTRUCTION OF SITE ELEMENTS THAT DISCHARGE TO THESE SYSTEMS. NO STORMWATER SHALL BE DIRECTED TO THE BIORETENTION FILTERS UNTIL THE SITE IS COMPLETELY STABILIZED. TEMPORARILY INSTALLED SEDIMENT TRAPS SHALL BE USED TO COLLECT ANY INFILTRATE ANY STORMWATER RUNOFF FROM THE SITE DURING CONSTRUCTION AND PRIOR TO STABILIZATION.

6. DISTURBED AREAS WILL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF THE INITIAL DISTURBANCE. DISTURBED AREAS WILL BE STABILIZED BEFORE STORMS. LOAM WILL BE SAVED FOR LATER USE WHERE POSSIBLE. EXCESS SOIL MATERIALS WILL BE USED AS FILL OR REMOVED FROM SITE TO AN APPROVED LOCATION.

7. AT A MINIMUM, THE EROSION CONTROL MEASURES SHALL BE REVIEWED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6 INCHES AND BE DISCARDED ON THE SITE. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS.

8. LOAM, LIME, FERTILIZE, SEED, AND MULCH LANDSCAPED AND OTHER DISTURBED AREAS.

9. ONCE THE SITE IS STABILIZED AND A 90% CATCH OF VEGETATION HAS BEEN OBTAINED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

10. TOUCH UP LOAM AND SEED.

NOTE: ALL DENUDED AREAS NOT SUBJECT TO FINAL PAVING, RIPRAP OR GRAVEL SHALL BE REVEGETATED.

EROSION CONTROL DURING WINTER CONSTRUCTION:

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN ONE (1) ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACES NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.

6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.

7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS, SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE WALES SHALL BE LINED WITH STRAW-COCOONUT EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL).

8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.

9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

10. ALL AREAS WITHIN 75 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIERS.

SITE INSPECTION AND MAINTENANCE:

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING EACH RAINFALL, SNOWSTORM, OR THAWING, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (90% GRASS CATCH). RAINFALL OF 0.5 INCHES OR MORE OF RAIN IN 24 CONSECUTIVE HOURS SHALL TRIGGER AN INSPECTION. SNOWFALL OF 2 INCHES OR MORE SHALL TRIGGER AN INSPECTION. CORRECTIVE ACTION SHALL BE STARTED BY THE END OF THE NEXT WORK DAY AND COMPLETED WITHIN SEVEN (7) DAYS OR BEFORE THE NEXT STORM EVENT AS NOTED ABOVE. INSPECTIONS SHALL BE PERFORMED BY SOMEONE WITH KNOWLEDGE OF EROSION AND STORMWATER CONTROL INCLUDING THE STANDARDS AND CONDITIONS IN THE PERMIT ISSUED FOR THE PROJECT. THE SCOPE OF CONSTRUCTION INSPECTIONS INCLUDES DISTURBED AREAS AND IMPERVIOUS AREAS, MATERIAL STORAGE AREAS, AND VEHICLE ACCESS POINTS IN ADDITION TO ESC MEASURES. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. RECORDS OF INSPECTIONS SHALL BE KEPT FOR THREE (3) YEARS.

MAINTENANCE. IF BEST MANAGEMENT PRACTICES (BMPs) NEED TO BE REPAIRED, THE REPAIR WORK SHOULD BE INITIATED UPON DISCOVERY OF THE PROBLEM BUT NO LATER THAN THE END OF THE NEXT WORKDAY. IF ADDITIONAL BMPs OR SIGNIFICANT REPAIR OF BMPs ARE NECESSARY, IMPLEMENTATION MUST BE COMPLETED WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.

DOCUMENTATION. KEEP A LOG (REPORT) SUMMARIZING THE INSPECTIONS AND ANY CORRECTIVE ACTION TAKEN. THE LOG MUST INCLUDE THE NAME(S) AND QUALIFICATIONS OF THE PERSON MAKING THE INSPECTIONS, THE DATE(S) OF THE INSPECTIONS, AND MAJOR OBSERVATIONS ABOUT THE OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS, MATERIALS STORAGE AREAS, AND VEHICLES ACCESS POINTS TO THE PARCEL. MAJOR OBSERVATIONS MUST INCLUDE BMPs THAT NEED MAINTENANCE, BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED. FOR EACH BMP REQUIRING MAINTENANCE, BMP NEEDING REPLACEMENT, AND LOCATION NEEDING ADDITIONAL BMPs, NOTE IN THE LOG THE CORRECTIVE ACTION TAKEN AND WHEN IT WAS TAKEN.

THE LOG MUST BE MADE ACCESSIBLE TO DEPARTMENT STAFF AND A COPY MUST BE PROVIDED UPON REQUEST. THE PERMITEE SHALL RETAIN A COPY OF THE LOG FOR A PERIOD OF AT LEAST THREE YEARS FROM THE COMPLETION OF PERMANENT STABILIZATION.

IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.

DURING WINTER CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAINFALL, SNOWSTORM, OR THAWING, AND A MINIMUM OF ONCE PER WEEK.

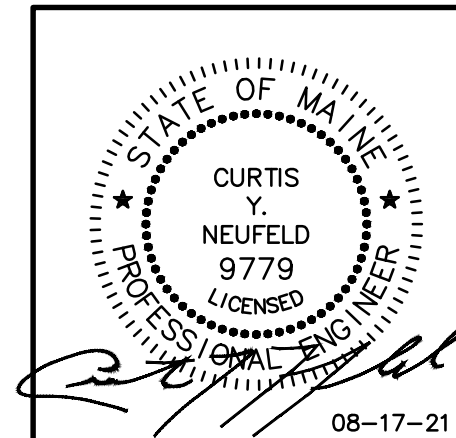
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.

3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.

PROGRESS PRINT

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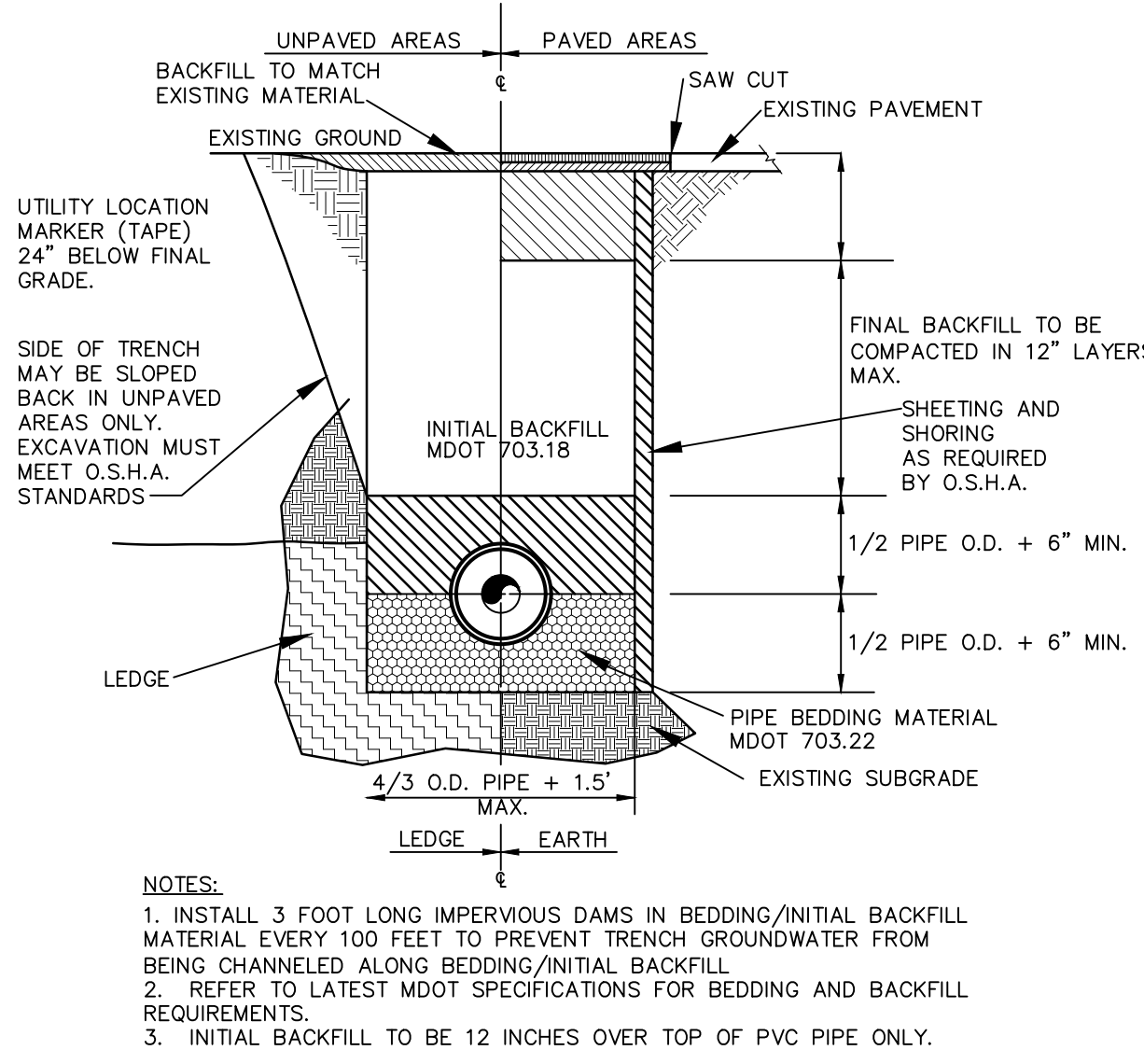
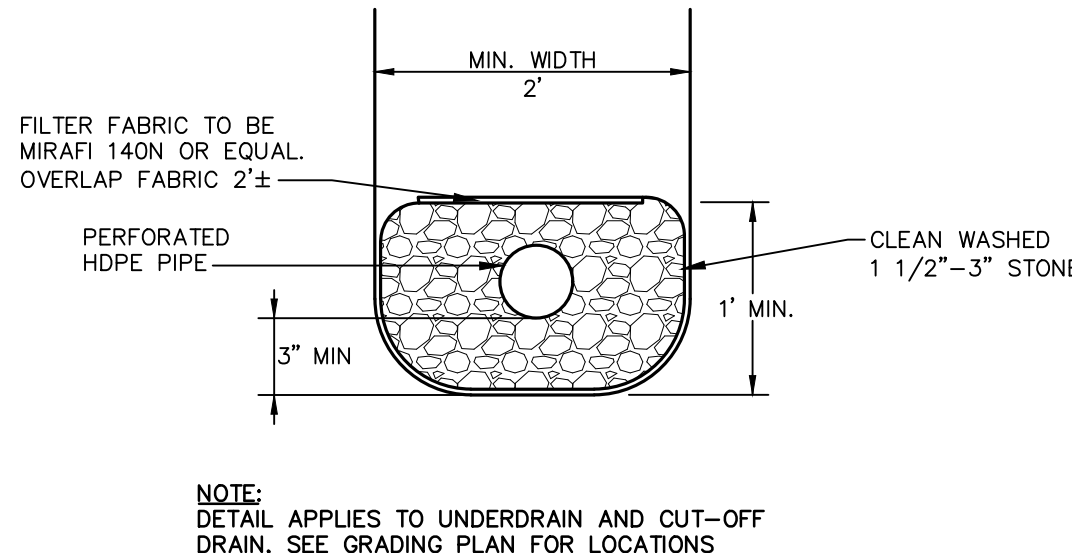
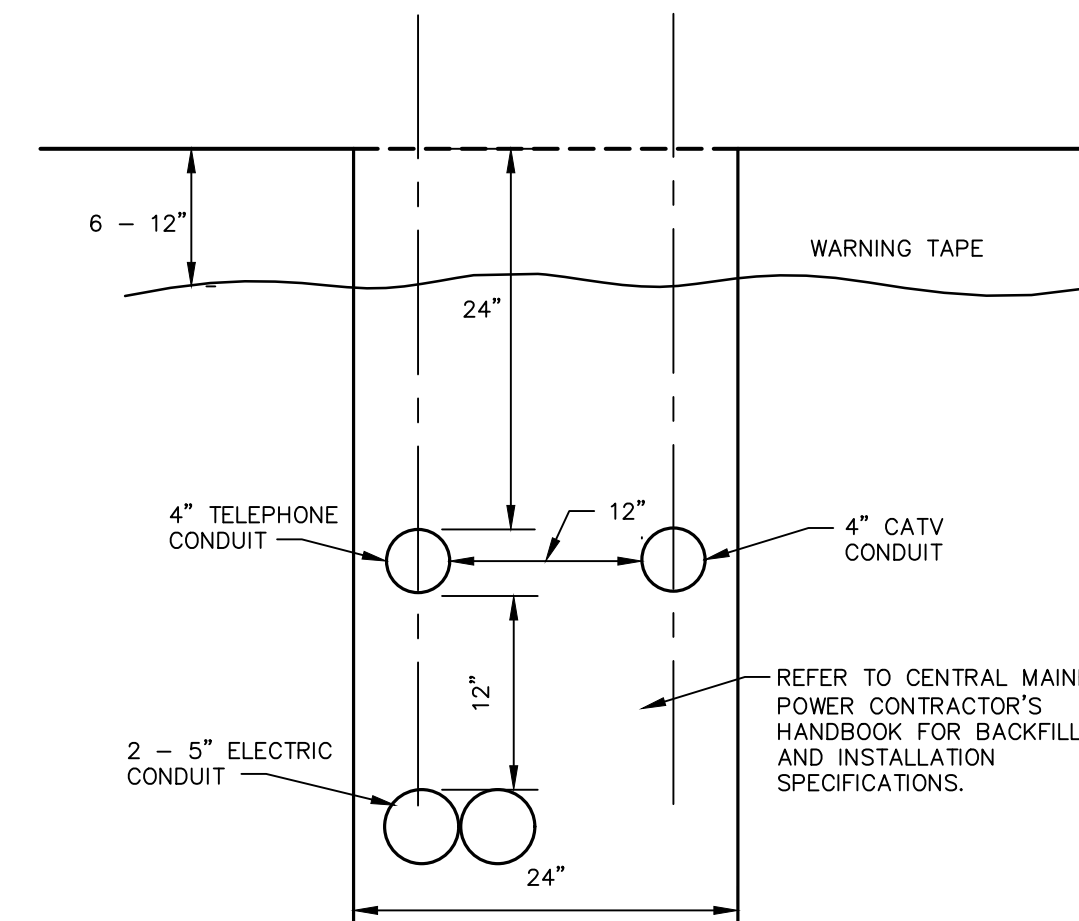
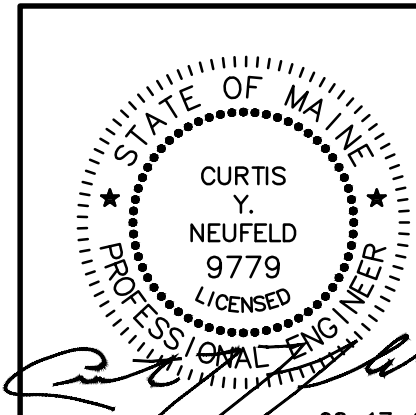
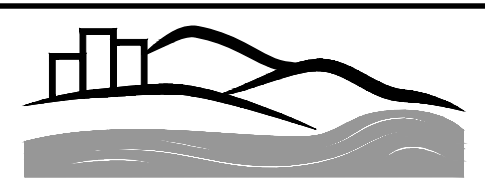


1. 08-17-21 SUBMITTED TO TOWN FOR PRELIMINARY SUB. REVIEW

TITLE:	EROSION CONTROL NOTES	
PROJECT:	ROSS ESTATES BLANCHARD ROAD EXTENSION, CUMBERLAND, MAINE	
OWNER:	STONWOOD LAND, LLC 8 ROBERTS STREET, FALMOUTH, MAINE 04105	

SITELINES 119 PURINTON ROAD, SUITE A BRUNSWICK, MAINE 04011 207.725.1200 CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS		
FIELD WK:	SCALE: NTS	SHEET:
DRN BY: MCA	JOB #: 4185	C8
CHD BY: KPC	MAP/LOT: R08 / 681	
DATE: 11-16-2020	FILE: 4185-COV-DET	

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X:\LAND PROJECTS\4185-ROSS BLANCHARD RD CUMBERLAND\DWG\4185-COV-DET.DWG, 09 DETAILS, 8/18/2021 10:23 PM, MELISSA ARCHBELL

<div><p>UNPAVED AREAS PAVED AREAS</p><p>BACKFILL TO MATCH EXISTING MATERIAL</p><p>EXISTING GROUND</p><p>SAW CUT</p><p>EXISTING PAVEMENT</p><p>UTILITY LOCATION MARKER (TAPE) 24" BELOW FINAL GRADE.</p><p>SIDE OF TRENCH MAY BE SLOPED BACK IN UNPAVED AREAS ONLY. EXCAVATION MUST MEET O.S.H.A. STANDARDS</p><p>INITIAL BACKFILL MDOT 703.18</p><p>FINAL BACKFILL TO BE COMPACTED IN 12" LAYERS MAX.</p><p>1/2 PIPE O.D. + 6" MIN.</p><p>1/2 PIPE O.D. + 6" MIN.</p><p>LEDGE</p><p>PIPE BEDDING MATERIAL MDOT 703.22</p><p>EXISTING SUBGRADE</p><p>4/3 O.D. PIPE + 1.5" MAX.</p><p>LEDGE</p><p>EARTH</p><p>NOTES:</p><p>1. INSTALL 3 FOOT LONG IMPERVIOUS DAMS IN BEDDING/INITIAL BACKFILL MATERIAL EVERY 100 FEET TO PREVENT TRENCH GROUNDWATER FROM BEING CHanneLED ALONG BEDDING/INITIAL BACKFILL</p><p>2. REFER TO LATEST MDOT SPECIFICATIONS FOR BEDDING AND BACKFILL REQUIREMENTS.</p><p>3. INITIAL BACKFILL TO BE 12 INCHES OVER TOP OF PVC PIPE ONLY.</p></div>		<div><p>MIN. WIDTH 2'</p><p>FILTER FABRIC TO BE MIRAFI 140N OR EQUAL. OVERLAP FABRIC 2'±</p><p>PERFORATED HDPE PIPE</p><p>3" MIN.</p><p>1" MIN.</p><p>CLEAN WASHED 1 1/2"-3" STONE</p><p>NOTE: DETAIL APPLIES TO UNDERDRAIN AND CUT-OFF DRAIN. SEE GRADING PLAN FOR LOCATIONS</p></div>		<div><p>6 - 12"</p><p>24"</p><p>WARNING TAPE</p><p>4" TELEPHONE CONDUIT</p><p>12"</p><p>4" CATV CONDUIT</p><p>12"</p><p>2 - 5" ELECTRIC CONDUIT</p><p>24"</p><p>REFER TO CENTRAL MAINE POWER CONTRACTOR'S HANDBOOK FOR BACKFILL AND INSTALLATION SPECIFICATIONS.</p></div>												
A	TYPICAL PIPE TRENCH DETAIL N.T.S.	B	UNDERDRAIN DETAIL N.T.S.	C	UTILITY TRENCH N.T.S.	D										
E		F		G		H										
						<div><div>PROGRESS PRINT THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.</div><div>ISSUED FOR: PERMITTING</div><div><div><div><div><div>SITELINES 119 PURINTON ROAD, SUITE A BRUNSWICK, MAINE 04011 207.725.1200 CIVIL ENGINEERS • PLANNERS • LAND SURVEYORS</div></div><table><tr><td>FIELD WK:</td><td>SCALE: NTS</td><td rowspan="4">SHEET: C9</td></tr><tr><td>DRN BY: MCA</td><td>JOB #: 4185</td></tr><tr><td>CHD BY: KPC</td><td>MAP/LOT: R08 / 68I</td></tr><tr><td>DATE: 11-16-2020</td><td>FILE: 4185-COV-DET</td></tr></table></div></div></div></div>		FIELD WK:	SCALE: NTS	SHEET: C9	DRN BY: MCA	JOB #: 4185	CHD BY: KPC	MAP/LOT: R08 / 68I	DATE: 11-16-2020	FILE: 4185-COV-DET
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